

### **MVP Southgate Amendment Project**

Docket No. CP25-XX-000

# Resource Report 8 – Land Use, Recreation and Aesthetics

November 2018 (Docket No. CP19-14-000)

Amended February 2025



### MVP Southgate Amendment Project Resource Report 8 – Land Use, Recreation and Aesthetics

	Resource Report 8 Filing Requirements	
	Information	Location in Resource Report
Min	imum Filing Requirements	
1.	Classify and quantify land use affected by: (§380.12(j)(1))	Section 8.2
	<ul> <li>a. Pipeline construction and permanent rights-of-way (§380.12(j)(1));</li> </ul>	Sections 8.2.1.1
	b. Extra work/staging areas (§380.12(j)(1));	Section 8.2.1.3
	c. Access roads (§380.12(j)(1));	Section 8.2.1.4
	d. Pipe and contractor yards (§380.12(j)(1)); and	Section 8.2.1.5
	<ul> <li>e. Aboveground facilities (§380.12(j)(1)).</li> <li>For aboveground facilities, provide the acreage affected by construction and operation, and the acreage leased or purchased; and describe the use of the land not required for operation.</li> </ul>	Section 8.2.2 and Table 8.2-2
2.	Identify by milepost all locations where the pipeline right-of-way would at least partially coincide with existing right-of-way, where it would be adjacent to existing rights-of-way, and where it would be outside of existing right-of-way. (§380.12(j)(1))	Resource Report 1 Appendix 1-E1
3.	Provide detailed typical construction right-of-way cross-section diagrams showing information such as widths and relative locations of existing rights-of-way, new permanent right-of-way, and temporary construction right-of-way. (§380.12(j)(1))	Resource Report 1 Appendix 1-C1
4.	Summarize the total acreage of land affected by construction and operation of the project. (§380.12(j)(1))  • This applies to offshore as well.	Table 8.2-2
5.	Identify by milepost all planned residential or commercial/business development and the time frame for construction. (§380.12(j)(3))  • Identify all planned development crossed or within 0.25 mile of proposed facilities.	Section 8.3.1
6.	Identify by milepost special land uses (e.g., maple sugar stands, specialty crops, natural areas, national and state forests, conservation land, etc.). (§380.12(j)(4))  • This applies to the offshore as well, where it may include oyster and other shellfish beds, special anchoring or lightering areas, and shipping lanes.	Sections 8.2.3.1, 8.2.3.8 and 8.4
7.	Identify by beginning milepost and length of crossing all land administered by Federal, state, or local agencies, or private conservation organizations. (§380.12(j)(4))  • This applies to the offshore as well.	Section 8.4 and Table 8.4-1
8.	Identify by milepost all natural, recreational, or scenic areas and all registered natural landmarks crossed by the project. (§380.12(j)(4&6))  This applies to the offshore as well.  Identify areas within 0.25 mile of any proposed facility.	Section 8.4 and Table 8.4-1
9.	Identify all facilities that would be within designated coastal zone management areas. Provide a consistency determination or evidence that a request for a consistency determination has been filed with the appropriate state agency. $(\S380.12(j)(4\&7))$	Section 8.4.3
10.	Identify by milepost all residence that would be within 50 feet of the construction right-of-way or extra work area. (§380.12(j)(5))	Section 8.3.2 and Table 8-E in Appendix 8-E
11.	Identify all designated or proposed candidate National or State Wild and Scenic Rivers crossed by the project. (§380.12(j)(6))	Section 8.4.1



Resource Report 8 Filing Requirements	
Information	Location in Resource Report
12. Describe any measures to visually screen aboveground facilities, such as compressor stations. (§380.12(j)(11))	Section 8.5.2
13. Demonstrate that applications for rights-of-way or other proposed land use have been or soon will be filed with Federal land-managing agencies with jurisdiction over land that would be affected by the project. (§380.12(j)(12))	Section 8.6
Additional Information Often Missing and Resulting in Data Requests	
14. Identify all buildings within 50 feet of the construction right-of-way or extra work areas.	Table 8-E in Appendix 8-E
15. Describe the management and use of all public lands that would be crossed.	Section 8.4 and Table 8.4-1
16. Provide a list of landowners by milepost or tract number that corresponds to information on alignment sheets.	Resource Report 1
17. Provide a site-specific construction plan for residences within 25 feet of construction or as requested by Federal Energy Regulatory Commission staff.	Appendix 8-D



## RESOURCE REPORT 8 LAND USE, RECREATION AND AESTHETICS

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#### LIST OF ACRONYMS AND ABBREVIATIONS

Amendment Project MVP Southgate Amendment Project additional temporary workspace

CREP Conservation Reserve Enhancement Program

CRP Conservation Reserve Program

E&SC Erosion and Sediment Control

EDR Environmental Data Resources, Inc.

FEIS Final Environmental Impact Statement

FERC or Commission Federal Energy Regulatory Commission

FRPP Farm and Ranchland Protection Program

FSA Farm Service Agency
GRP Grassland Reserve Program
Mainline Project Mountain Valley Pipeline Project

MLV mainline valve

MP milepost

Mountain Valley Mountain Valley Pipeline, LLC

NASS National Agricultural Statistics Services

NCDACS North Carolina Department of Agriculture and Consumer Services

NCDOA North Carolina Department of Administration
NCDPR North Carolina Division of Parks and Recreation
NCDOT North Carolina Department of Transportation
NCNHP North Carolina Natural Heritage Program

NPS National Park Service

NRCS Natural Resources Conservation Service

NRI Nationwide Rivers Inventory

Original Certificated Project MVP Southgate Project, as approved June 18, 2020

Plan Upland Erosion Control, Revegetation, and Maintenance Plan
Procedures Wetland and Waterbody Construction and Mitigation Procedures

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Transco Transcontinental Gas Pipe Line Company, LLC

U.S. United States

USDA U.S. Department of Agriculture USDOT U.S. Department of Transportation

USFS U.S. Forest Service
USGS U.S. Geological Survey

VDCR Virginia Department of Conservation and Recreation

VDOT Virginia Department of Transportation
VDWR Virginia Department of Wildlife Resources
VGIN Virginia Geographic Information Network

VOF Virginia Outdoors Foundation WMA Wildlife Management Area WRP Wetlands Reserve Program



## RESOURCE REPORT 8 LAND USE, RECREATION AND AESTHETICS

#### 8.1 INTRODUCTION

On June 18, 2020, in Docket No. CP19-14-000, the Federal Energy Regulatory Commission ("FERC" or "Commission") issued a Certificate of Public Convenience and Necessity pursuant to Section 7(c) of the Natural Gas Act to Mountain Valley Pipeline, LLC ("Mountain Valley") authorizing Mountain Valley to construct and operate the MVP Southgate Project (or "Original Certificated Project"). A Final Environmental Impact Statement ("FEIS") was issued by FERC on February 14, 2020.

In December 2023, Mountain Valley submitted an update on the status of the Original Certificated Project, indicating that it had entered into precedent agreements for a redesigned pipeline route. Mountain Valley is currently seeking to amend the MVP Southgate Project ("Amendment Project") by truncating the Original Certificated Project to approximately 31.3 miles, incorporating certain route deviations, increasing the diameter of the pipeline, removing the Lambert Compressor Station, and modifying the proposed interconnects. The Amendment Project facilities will be located in Pittsylvania County, Virginia, and Rockingham County, North Carolina. See Resource Report 1 for additional information on the Original Certificated Project and Amendment Project.

#### 8.1.1 Environmental Resource Report Organization

Resource Report 8 includes descriptions and supporting information regarding land use, recreation, and aesthetics in the Amendment Project area and the potential impacts with construction and operation of the Amendment Project and is prepared and organized according to the FERC (2017) *Guidance Manual for Environmental Report Preparation*. The information presented in Resource Report 8 has not changed from the FEIS issued for the Original Certificated Project on February 14, 2020, except where noted.

#### 8.2 LAND USE

Land use classification for the Amendment Project area was completed using information gathered and observations made from field surveys conducted in 2024, discussions with landowners, and through interpretation of the most recent aerial imagery (NC Orthoimagery Program 2022; Virginia Geographic Information Network ["VGIN"] 2023). In 2024, field surveys were conducted, where land access was granted within an approximate 100- to 300-foot-wide survey corridor associated with the pipeline, access roads, additional temporary workspace ("ATWS"), contractor yards, and aboveground facility sites. The Amendment Project completed field surveys along approximately 98 percent of the Amendment Project pipeline alignment in 2024. One parcel in Virginia was not surveyed due to lack of survey access permission. Land use types along the Amendment Project route are classified into the categories defined in the FEIS.

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A summary of the Amendment Project's overall land impacts is provided in Resource Report 1.



#### 8.2.1 Pipeline Facilities

#### 8.2.1.1 Temporary Workspace and Permanent Right-of-Way

The proposed typical construction right-of-way width for the Amendment Project will be 100 feet. Following construction, the Amendment Project will retain 50 feet of new permanent right-of-way, and the remaining 50 feet of construction right-of-way will be restored to as practically possible preconstruction conditions. The Interstate Natural Gas Association of America recommends the use of a 95-foot baseline width and increasing or decreasing this baseline width for special conditions (Gulf Interstate Engineering 1999). The Amendment Project's proposed 100-foot construction right-of-way width will allow for construction in varied terrain and full right-of-way topsoil segregation in agricultural areas. Workspace within wetlands will be reduced to 75 feet to minimize impacts in accordance with the FERC (2013a) Wetland and Waterbody Construction and Mitigation Procedures ("Procedures"). Specific deviations from the FERC (2013b) Upland Erosion Control, Revegetation, and Maintenance Plan ("Plan") and Procedures are described in Resource Report 1 and Resource Report 2.

Following construction, vegetation within the 50-foot permanent right-of-way (with the exception of the area between the horizontal directional drill ("HDD") entry and exits) will be maintained in the same manner described in the FEIS. Additionally, acreages for the full 50-foot permanent right-of-way have been provided in the tables below to account for the entirety of Mountain Valley's easement; however, wetland areas will be maintained in accordance with the FERC Procedures.

Tree clearing and vegetation maintenance within the permanent right-of-way will result in the conversion of forested upland to open land within forested upland portions of the permanent right-of-way and the permanent conversion of forested wetland to emergent or scrub-shrub wetland where the permanent right-of-way is maintained across forested wetlands. Pasture, hayfields, and row crop production will be allowed to continue in agricultural areas; therefore, permanent conversion of existing agricultural lands to a different land use is not anticipated.

Pipeline right-of-way workspace configurations and dimensions are indicated on the alignment sheets, as well as on the typical, conceptual right-of-way configuration drawings, both of which are included in Resource Report 1. Table 8.2-1 identifies land uses crossed by the pipeline (including percent of total Amendment Project), and Table 8.2-2 identifies acreage affected by land use type during construction and operation of the Amendment Project. Land uses crossed by milepost ("MP") along the pipeline are identified in Table 8-A in Appendix 8-A. Mapping of land use is depicted in Appendix 8-B.



								Tab	le 8.2-1									
						L	and Uses C	rossed by the	e Amendmer	t Project Pipe	eline							
									Silviculture <u>f</u> /		Residential g/		Open Water <u>h</u> /		Total <u>i</u> /			
		Miles	%	Miles	%	Miles	%	Miles	%	Miles	%	Miles	%	Miles	%	Miles	%	Miles
H-650	Pittsylvania, VA	12.99	48.56	7.01	26.22	2.47	9.23	1.45	5.42	1.31	4.90	1.41	5.29	0.05	0.20	0.06	0.24	26.75
Pipeline	Rockingham, NC	1.13	24.51	1.59	34.48	0.50	10.82	0.35	7.59	0.54	11.80	0.44	9.52	0.00	0.00	0.06	1.36	4.61
Ame	endment Project Total	14.12	44.75	8.60	27.49	2.97	9.67	1.80	5.75	1.85	5.92	1.85	5.92	0.05	0.17	0.13	0.34	31.36

Source: NC Orthoimagery Program 2022; VGIN 2023

- a/ Upland forest not being used for specific commercial purposes.
  b/ Utility rights-of-way, open fields, vacant land, herbaceous and scrub uplands, non-forested lands, golf courses, and municipal land.
- c/ Cultivated land (e.g., tobacco, soybeans, hay, corn).
  d/ Manufacturing or industrial plants, paved areas, landfills, mines, quarries, electric power or natural gas utility facilities, developed areas, roads, railroads and railroad yards, and commercial or retail facilities.
  e/ Palustrine forested, palustrine scrub-shrub, and palustrine emergent wetlands as identified in Resource Report 2.
  f/ Wooded lands being managed for forest products (i.e., pine plantations).

- g/ Existing developed residential areas and planned residential developments. This may include large developments; low-, medium-, and high-density residential neighborhoods; urban and suburban residential; multi-family residences; ethnic villages; residentially zoned areas that have been developed; or short segments of the route at road crossings with homes near the route alignment.
- h/ Field-delineated waterbodies with a bank width of greater than six feet and waterbodies visible on aerial photography.
- i/ Sum of addends may not equal the totals due to rounding.

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								Table 8	3.2-2									
					Lan	d Use Acreage	Affected	by Construction	n and Ope	ration of the					1			
Facility County, State	Upland F Woodla		Upland Open Land <u>b</u> /		Agricultural Land c/			nmercial / ustrial <u>d</u> /	Wet	land <u>e</u> /	Silvicu	ılture <u>f</u> /	Reside	ential g/	Open Water <u>h</u> /		Tota	al <u>i</u> /
	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction [/	Operation <u>k/</u>
H-650 Pipeline Right-of- Way <u>I</u> /	156.44	81.86	100.42	52.58	33.14	16.62	19.28	10.50	17.09	11.22	20.66	10.59	0.71	0.24	0.56	0.39	348.29	184.00
Pittsylvania, VA	144.60	75.50	82.26	42.86	30.46	15.14	15.72	8.48	12.29	8.02	15.61	7.91	0.71	0.24	0.38	0.27	302.02	158.41
Rockingham, NC	11.84	6.36	18.16	9.72	2.68	1.48	3.56	2.03	4.81	3.19	5.05	2.68	0.00	0.00	0.18	0.12	46.27	25.58
Additional Temporary Workspace <u>m</u> /	47.51	0.00	50.48	0.00	18.85	0.00	9.09	0.00	0.64	0.00	8.00	0.00	0.30	0.00	0.00	0.00	134.86	0.00
Pittsylvania, VA	42.21	0.00	34.80	0.00	7.49	0.00	8.49	0.00	0.19	0.00	6.28	0.00	0.21	0.00	0.00	0.00	99.68	0.00
Rockingham, NC	5.30	0.00	15.68	0.00	11.36	0.00	0.60	0.00	0.45	0.00	1.72	0.00	0.08	0.00	0.00	0.00	35.19	0.00
Cathodic Protection Groundbeds	0.04	0.04	1.11	1.11	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1.15	1.15
Pittsylvania, VA	0.04	0.04	1.11	1.11	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1.15	1.15
Rockingham, NC	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Permanent Aboveground Facilities	0.54	0.54	1.47	1.47	0.00	0.00	0.18	0.18	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.19	2.19
Pittsylvania, VA	0.54	0.54	0.04	0.04	0.00	0.00	0.18	0.18	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.76	0.76
Lambert Interconnect / MLV 1	0.54	0.54	0.00	0.00	0.00	0.00	0.18	0.18	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.72	0.72
MLVs 2 and 3	0.00	0.00	0.04	0.04	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.04	0.04
Rockingham, NC	0.54	0.54	1.47	1.47	0.00	0.00	0.18	0.18	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.19	2.19
LN 3600 Interconnect	0.00	0.00	0.28	0.28	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.28	0.28
Dan River Interconnect #1 / MLV 4	0.00	0.00	0.68	0.68	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.68	0.68
Dan River Interconnect #2	0.00	0.00	0.47	0.47	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.47	0.47
Contractor Yards	0.91	0.00	9.71	0.00	0.00	0.00	31.46	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.99	0.00	43.07	0.00
Pittsylvania, VA	0.19	0.00	9.71	0.00	0.00	0.00	18.85	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	29.73	0.00
Rockingham, NC	0.72	0.00	0.00	0.00	0.00	0.00	12.62	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	13.34	0.00
Temporary and Permanent Access Roads	3.79	0.02	18.62	2.93	6.75	0.00	14.30	0.12	0.52	0.01	1.81	0.00	0.47	0.00	0.00	0.00	46.26	3.09
Pittsylvania, VA	3.42	0.02	11.45	0.02	5.67	0.00	9.55	0.02	0.46	0.00	1.81	0.00	0.31	0.00	0.00	0.00	32.67	0.06
Rockingham, NC	0.37	0.00	7.17	2.91	1.08	0.00	4.75	0.11	0.07	0.01	0.00	0.00	0.15	0.00	0.00	0.00	13.59	3.03
Amendment Project Total	209.23	82.47	181.81	58.09	58.74	16.62	74.32	10.81	18.26	11.23	30.46	10.59	1.47	0.24	1.55	0.39	575.83	190.43

Source: NC Orthoimagery Program 2022; VGIN 2023

Note: Pig launcher and receiver will be within other aboveground facility sites (i.e., the Lambert Interconnect #1); therefore, acreage calculations for the pig launcher and receiver are included with those facilities. Mainline valves ("MLVs") will be 30 feet by 30 feet in area and will be wholly contained within the permanent right-of-way. MLVs at the Lambert Interconnect #1 will be located within the fenceline of those facilities; therefore, acreage calculations for these MLVs are included with those facilities.

- <u>a/</u> Upland forest not being used for specific commercial purposes.
   <u>b/</u> Utility rights-of-way, open fields, vacant land, herbaceous and scrub uplands, non-forested lands, golf courses, and municipal land.
- $\overline{\underline{c}}$  Cultivated land (e.g., tobacco, soybeans, hay, corn).
- Manufacturing or industrial plants, paved areas, landfills, mines, quarries, electric power or natural gas utility facilities, developed areas, roads, railroads and railroad yards, and commercial or retail facilities.
- e/ Palustrine forested, palustrine scrub-shrub, and palustrine emergent wetlands as identified in Resource Report 2.

  f/ Wooded lands being managed for forest products (i.e., pine plantations).

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								Table 8	8.2-2									
					La	nd Use Acreage	Affected	by Construction	on and Ope	ration of the	Amendmen	t Project						
Facility County, State					Agricul	Agricultural Land <u>c</u> /		Commercial / Industrial <u>d</u> /		Wetland e/		Silviculture <u>f</u> /		ential g/	Open Water <u>h</u> /		Total <u>i</u> /	
	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction	Operation	Construction j/	Operation <u>k/</u>

g/ Existing developed residential areas and planned residential developments. This may include large developments; low-, medium-, and high-density residential neighborhoods; urban and suburban residential; multi-family residences; ethnic villages; residentially zoned areas that have been developed; or short segments of the route at road crossings with homes near the route alignment.

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h/ Field-delineated waterbodies with a bank width of greater than six feet and waterbodies visible on aerial photography where field delineation has not been completed.

i/ Sums may not equal the total of addends due to rounding.

j/ Construction acres include the area affected by construction (i.e., temporary and additional temporary workspace, contractor yards, and access roads) and the area affected by the operation of the Amendment Project (i.e., facility operation footprint and 50-foot pipeline permanent right-of-way). The 50-foot-wide permanent right-of-way between HDD entry and exit points is not included in this acreage. A 3-foot-wide path between HDDs has been included.

k/ Includes only the operation footprint of the Amendment Project facilities within the 50-foot-wide permanent pipeline right-of-way. No operational right-of-way is included in the area between the HDD entry and exit points.

Includes the 50-foot-wide permanent right-of-way (which incorporates a reduced 3-foot-wide area between HDD entry and exits) and temporary workspace areas. The full 50-foot-wide permanent right-of-way has been calculated through wetland areas but will be maintained in accordance with the FERC procedures, which will be reduced to 10 feet in emergent wetlands, and within 25 feet of waterbodies and to 30 feet in forested wetlands.

m/ Includes ATWS areas for the pipeline facility. ATWS areas to be used for the construction of aboveground facilities are included in the acreage calculations for the applicable aboveground facilities.



#### 8.2.1.2 Existing Rights-of-Way

Resource Report 1 summarizes the locations where the Amendment Project is collocated with existing rights-of-way. Collocation includes areas where workspace is located immediately adjacent to or partially within existing utility rights-of-way. Where collocation with existing utility rights-of-way is proposed, Mountain Valley has designed workspaces such that the permanent right-of-way for the pipeline is immediately adjacent to or partially within the existing right-of-way, where feasible, to reduce the occurrence of non-contiguous rights-of-way. Mountain Valley is coordinating with utility companies collocated with the pipeline to determine the feasibility of construction overlaps.

#### 8.2.1.3 Additional Temporary Workspace

In addition to the typical construction right-of-way, ATWS will be required to facilitate construction at road, railroad, utility, wetland, and waterbody crossings, as well as for areas requiring specialized construction techniques such as trenchless technologies. A list of locations where ATWS will be required is included in Resource Report 1. The ATWS area will be restricted to the minimum size necessary to safely construct the pipeline with respect to the existing conditions anticipated at the time of construction. In the case of crossings of wetlands and waterbodies, the ATWS will be located outside of the wetlands and waterbodies and in accordance with the setback requirements per the FERC Procedures to the extent practicable, with the exception of site-specific areas as identified in Resource Report 2, Appendix 2-F. Additional temporary workspace areas are also depicted on the Amendment Project alignment sheets included in Appendix 1-A of Resource Report 1.

#### 8.2.1.4 Access Roads

During construction, existing public and private road crossings along the pipeline route will be used, to the extent practicable, as the primary means of accessing the right-of-way and/or the aboveground facilities. The general description, use, and proposed improvements of access roads have not changed from the FEIS. In some locations with limited existing access, Mountain Valley may need to create new temporary access roads during construction. Mountain Valley has identified locations of proposed temporary access roads, which differ from those described in the FEIS for the Original Certificated Project. Therefore, Mountain Valley has provided a full list of temporary access roads applicable to the Amendment Project in Resource Report 1. Temporary access roads may require modification of existing land use to accommodate access road use during construction. Following construction, temporary access roads will be restored to as practically feasible to their preconstruction condition unless the landowner requests the roads to remain in place and approval is obtained from relevant federal and state agencies.

During operation, Mountain Valley will continue to use certain access roads along the pipeline to access permanent facilities such as MLVs and meter stations or to access the pipeline right-of-way at other locations. Such access roads may be required in instances when utilization of the pipeline right-of-way is no longer practicable after temporary bridges are removed, fencing has been replaced, or terrain conditions (e.g., wetlands or waterbodies, etc.) inhibit access.

Mountain Valley will construct eight new permanent access roads to provide access to the permanent right-of-way meter stations and cathodic protection groundbeds for the operational maintenance of the Amendment Project. The list of proposed permanent access roads differs from those listed in the FEIS for the Original Certificated Project; a complete list of the proposed permanent access roads applicable to the Amendment Project is provided in Resource Report 1, Appendix 1-F. Construction of new permanent

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access roads will convert minor areas of upland open land, agricultural land, and upland forest/woodland to commercial/industrial land during the operation of the Amendment Project (see Resource Report 1, Appendix 1-F). The general description of the use and maintenance of proposed permanent access roads has not changed from the FEIS. Permanent access roads identified for use during the construction of the pipeline are shown on the alignment sheets included in Resource Report 1.

#### 8.2.1.5 Contractor Yards

Mountain Valley has identified potential contractor yards and equipment staging and storage areas for temporary use during construction. Two of these locations differ from those described in the FEIS for the Original Certificated Project. Therefore, Mountain Valley has provided a full list of proposed contractor yards applicable to the Amendment Project in Resource Report 1, Table 1.2-3. This table also includes the land use class that will be affected by each. Additionally, contractor yards and staging and storage areas are depicted on the 7.5-Minute United States ("U.S.") Geological Survey ("USGS") Quadrangle Maps in Resource Report 1, Appendix 1-B.

#### 8.2.2 Aboveground Facilities

Aboveground facilities for the Amendment Project will consist of four new meter (interconnect) stations. Minor aboveground facilities include one pig launcher, one pig receiver, and four MLVs. Table 1.2-2 of Resource Report 1 provides a summary by location of the aboveground facilities for the Amendment Project, and these facilities are depicted on the plot plans provided in Appendix 1-C2 (CUI//CEII, Critical Energy Infrastructure Information, provided under separate cover). Table 1.2-3 of Resource Report 1 provides the location of MLVs, and these facilities are depicted on the Amendment Project alignment sheets provided in Appendix 1-A. Construction and operational impacts on existing land use from the Amendment Project's aboveground facilities are included in Table 8.2-2 above. The pig launcher, pig receiver, and MLVs will be located within the permanent right-of-way of the pipeline or the permanent limits of the meter stations.

#### 8.2.2.1 Pig Launcher and Receiver

Mountain Valley has incorporated launching and receiving facilities within other aboveground facility sites (i.e., the Lambert Interconnect and Dan River Interconnect #1) to accommodate in-line inspection tools (smart pigs) for periodic internal inspections of the pipeline during operations (see note in Table 8.2-2 above). A pig launcher will be located at the origination point inside the Lambert Interconnect fenceline in Pittsylvania County, Virginia. The corresponding pig receiver will be located at the Dan River Interconnect #1 at MP 31.3 in Rockingham County, North Carolina. The impacts associated with the construction and operation of the pig launcher and receiver facilities will be minimal, as they are located within the limits of disturbance associated with the aboveground facilities described in this report. The land required for these facilities is included in the operation acreages of each respective facility.

#### 8.2.2.2 Mainline Valves and Meter Stations

MLVs and meter stations will be installed at various locations along the pipeline route. The Amendment Project will have four interconnects along the pipeline alignment, including delivery interconnects with East Tennessee, Public Service Company of North Carolina, Inc. d/b/a Enbridge Gas North Carolina, and Piedmont Natural Gas.

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#### **Mainline Valves**

MLVs will be installed at the beginning and end of the pipeline and at intermediate locations as necessary to meet operational needs and the design and installation requirements described in 49 Code of Federal Regulations Part 192.179(a) – Transmission Line Valves, requiring minimum distances to the nearest valve based on pipeline location class. MLVs will be located within the permanent pipeline right-of-way. MLVs at meter station locations will be buried with valve gearing extending aboveground. There are four MLV locations, including three in Virginia and one in North Carolina. Each of the MLVs will be contained within a fenced, gated, and locked area. MLVs 2 and 3 will be located within the permanent right-of-way associated with the pipeline, and acreage impacts for these MLVs are counted separately from the permanent right-of-way in Table 8.2-2. MLVs 1 and 4 will be located within the area for the Lambert Interconnect and the Dan River Interconnect #1, respectively. Acreage impacts for MLVs 1 and 4 are included within these aboveground facility sites in Table 8.2-2 (i.e., MLV sites are not double counted within the total Amendment Project impacts).

#### **Meter Stations**

The Lambert Interconnect will be located at MP 0.0 in Pittsylvania County, Virginia.

The LN 3600 Interconnect has been sited on a parcel at MP 28.9 in Rockingham County, North Carolina. The land use type permanent conversion of land use associated with this facility has not changed from that described in the FEIS.

The Dan River Interconnect #1 (formerly the T-15 Dan River Interconnect) has been sited on a parcel at MP 31.3 in Rockingham County, North Carolina. The land use type permanent conversion of land use associated with this facility has not changed from that described in the FEIS; however, the name of the facility was revised as part of the Amendment Project.

The Dan River Interconnect #2 has been sited on a parcel at MP 31.3 in Rockingham County, North Carolina, adjacent to the Dan River Interconnect #1. The facility will be accessed from an existing permanent access road (PA-RO-082) off Route 709. Existing land use on and adjacent to the property is upland open land. Construction of the proposed facility will result in the permanent conversion of upland open land to commercial/industrial land use.

#### 8.2.2.3 Cathodic Protection

The Amendment Project will install two rectifiers for cathodic protection. Groundbeds (approximate dimensions of 50 feet wide by 500 feet long) will be located perpendicular to the permanent easement. Groundbed locations are identified in Table 1.3-3 of Resource Report 1 and are shown on the alignment sheets included in Appendix 1-A in Resource Report 1.

Mountain Valley has obtained new permanent right-of-way for the groundbed areas. The groundbed areas are located primarily within upland open land and will be maintained as open land during the operation of the Amendment Project.

#### 8.2.3 Land Use Impact and Mitigation

The primary Amendment Project-related impacts on existing land uses will be associated with vegetation clearing during construction. Following construction, most existing land uses will be allowed to continue within temporary workspace areas as well as within the permanent operational right-of-way for the pipeline.



However, to ensure operational safety and allow for routine maintenance of the facilities following construction, no structures will be allowed within the 50-foot permanent right-of-way. Vegetation on the permanent right-of-way will be maintained by mowing, cutting, and trimming in accordance with the FERC Plan and Procedures and as described in the FEIS.

The following sections provide a discussion of the impacts associated with the construction and operation of the Amendment Project as well as mitigation measures that will be implemented to reduce those impacts on the various land use types to be crossed by the Amendment Project. Mountain Valley determined the amount of each land use type affected by the Amendment Project using observations made during field surveys, discussions with landowners, and aerial imagery. Table 8-A in Appendix 8-A provides linear distance crossings of each land use by MP. Mapping of land use is depicted in Appendix 8-B. Table 8.2-2 above provides the acres of various land uses that will be impacted during the construction and operation of the Amendment Project.

#### 8.2.3.1 Agricultural Land

Agricultural land in the Amendment Project counties is described in the FEIS (U.S. Department of Agricultural ["USDA"] National Agricultural Statistics Services ["NASS"] 2022). Construction methods proposed to be implemented on agricultural lands affected by the Amendment Project are described in Resource Report 1. The Amendment Project has consulted with the USDA Natural Resources Conservation Service ("NRCS") in Virginia and North Carolina regarding agricultural resources, farmland easements, and restoration measures applicable to the Amendment Project area. The Amendment Project will incorporate the vegetation establishment guidelines and recommendations from the USDA NRCS (see Resource Report 1, Appendix 1-I) in the project-specific Erosion and Sediment Control ("E&SC") plan, as applicable. The Amendment Project is preparing site-specific E&SC plans that will comply with Virginia and North Carolina erosion control regulations and requirements.

Impacts from construction across agricultural lands will typically be limited to the growing season during which construction occurs. Mountain Valley has coordinated with landowners who will be directly affected by Amendment Project construction and will continue to coordinate with affected landowners throughout the easement negotiation process.

Following construction, Mountain Valley will restore impacted agricultural land to preconstruction conditions, to the extent practicable, in accordance with the FERC Plan and as described in the FEIS. Mountain Valley will compensate landowners for crop losses and other damages caused by construction activities. Mountain Valley will negotiate with and reimburse landowners or producers of products for damages or loss to their products as a result of the construction of the Amendment Project. The reimbursement to these landowners or producers will be based on the market prices for the specific products at the time of right-of-way negotiations with each affected landowner.

#### **Farmland Preservation Programs**

The Virginia Century Farm Program recognizes and honors those farms that have been in operation for at least 100 consecutive years. Virginia Century Farms receive a signed certificate from the Governor of Virginia and the Commissioner of the Virginia Department of Agriculture and Consumer Services ("VDACS") as well as a sign for outdoor display. There are 20 Virginia Century Farms in Pittsylvania County (VDACS 2024). No Virginia Century Farms have been identified as affected by the Amendment Project, and Mountain Valley has confirmed through landowner negotiations that no Virginia Century



Farms are crossed by the Amendment Project. North Carolina does not have a Century Farm or other similar program.

Easement information for parcels under local and/or state farmland protection programs in Virginia is not publicly available. Review of publicly available information from the North Carolina Department of Agriculture and Consumer Services ("NCDACS") did not identify any farmland easements within 0.25 mile of the Amendment Project in North Carolina (NCDACS 2024).

#### **Agricultural Drainage and Irrigation System**

Pipeline construction could disrupt surface or subsurface drainage systems. To avoid or minimize this impact, Mountain Valley has had discussions with the landowners regarding the presence of drain tiles and irrigation systems. Mountain Valley currently holds 95 percent of easements for the Amendment Project, and no known drain tiles have been identified to date. Like the Original Certificated Project, a septic system on one parcel (VA-PI-059.000 near MP 10.6 in Pittsylvania County) is located along the Amendment Project route. Mountain Valley will continue landowner discussions for any remaining easements to identify known locations of drain tiles or irrigation systems in the field prior to the commencement of construction. If drain tiles and/or irrigation systems are identified, pipeline construction methods have not changed from the FEIS. Additionally, agricultural drainage features that are modified or damaged during construction will be repaired or replaced per the FEIS. Operation of the pipeline following construction and repair of damaged tiles and irrigation lines is not expected to affect the operation of drainage and irrigation systems.

#### **Livestock Watering**

Field surveys and landowner easement negotiations completed to date have not identified any livestock watering systems in the Amendment Project workspace areas.

#### **Specialty Crops**

Specialty crop areas are defined in the FEIS. Mountain Valley reviewed the USDA NASS (2024) cropland data and verified with landowners through its easement negotiations that no specialty crop areas are crossed by the Amendment Project alignment.

#### **Certified Organic Farms**

Mountain Valley reviewed the USDA (2024) Organic Integrity Database for locations of certified organic farms in the Amendment Project area and verified with landowners through easement negotiations that no certified organic farms are located are located within 0.25 mile of the Amendment Project.

#### 8.2.3.2 Upland Open Land

Impacts to upland open land and the measures that Mountain Valley will use to avoid or minimize such impacts from the Amendment Project have not changed from those described in the FEIS.

#### 8.2.3.3 Upland Forest/Woodland

Impacts to upland forest/woodland and the measures that Mountain Valley will use to avoid or minimize impacts from the Amendment Project to upland forest/woodland areas have not changed from those described in the FEIS. Resource Report 3 provides a detailed discussion of the types of upland forests and woodlands crossed by the pipeline.



#### 8.2.3.4 Silviculture

Silviculture land identified to date as crossed by Amendment Project through field surveys and review of aerial photography is listed in Table 8.2-3 below by MP.

	Table 8.2-3												
Silviculture Areas Crossed by the Amendment Project													
Silviculture Type Land Tract Nearest Pipeline Construction Opera MP Crossing Acres a/ Acres Length (feet)													
Pine Plantation	VA-PI-038.000	7.0	928.34	2.72	0.76								
Pine Plantation	VA-PI-039.000	7.3	443.57	1.77	0.32								
Pine Plantation	VA-PI-075.000	11.2	2,453.60	8.86	2.70								
Pine Plantation	VA-PI-076.000	11.7	1,112.74	3.70	1.33								
Pine Plantation	VA-PI-077.000	12.4	9.58	0.02	0.01								
Pine Plantation	VA-PI-078.000	12.4	332.27	0.77	0.30								
Pine Plantation	VA-PI-099.000	15.8	44.33	0.11	0.05								
Pine Plantation	VA-PI-101.000	15.8	489.00	1.14	0.56								
Pine Plantation	VA-PI-126.000	19.2	760.02	1.64	0.84								
Pine Plantation	VA-PI-180.000	26.6	994.84	3.05	1.15								
Pine Plantation	NC-RO-001.000	26.8	669.10	2.02	0.77								
Pine Plantation	NC-RO-001.000.RC	26.9	24.84	0.06	0.03								
Pine Plantation	NC-RO-007.000	29.7	1,546.83	4.60	1.79								
	Amendment Pro	ject Total <u>c</u> /	9,809.05	30.46	10.59								

<sup>&</sup>lt;u>a/</u> Construction acres include the area affected by construction (i.e., temporary and additional temporary workspace, contractor yards, and access roads) and the area affected by operation of the Amendment Project (i.e., facility operation footprint and 50-foot pipeline permanent right-of-way). The 50-foot-wide permanent right-of-way between horizontal directional drill entry and exit points is not included in this acreage.

Mountain Valley will work with the landowner to maintain access to wooded portions of their property during the construction of the pipeline. Mountain Valley will compensate landowners for the value of trees felled within the construction work areas. Mountain Valley will remove and dispose of timber and debris from the right-of-way; however, if requested or agreed to by the landowner, Mountain Valley will ensure that any beneficial reuse of timber that is not removed and remains on or adjacent to the right-of-way is located at access points where the landowner can reasonably retrieve timber without any inadvertent impacts on the restored right-of-way, in accordance with section III.E of the FERC Plan. If impacted, existing logging roads will be restored after construction. Where the roads cross the pipeline right-of-way, landowners will be asked to submit information regarding the type of equipment to be used (type includes information such as whether it is wheeled or tracked, weight) and the expected duration of the crossing. Mountain Valley will then perform an analysis based on this information to determine if and how the pipeline right-of-way can be safely crossed. Measures that may be implemented to accomplish this include timber mats, steel plates, or other padded crossing alternatives. During the operation of the pipeline, affected landowners will be asked to contact Mountain Valley prior to any logging activities that include the use of heavy equipment across the permanent right-of-way. Subsequent activities by Mountain Valley

b/ Includes only the operation footprint of the Amendment Project facilities within the 50-foot permanent pipeline right-of-way. No operational right-of-way is included in the area between the HDD entry and exit points.

c/ Sums may not equal the total of addends due to rounding.



may include staking the centerline and implementing measures to protect the pipe from logging equipment during harvesting (e.g., placement of timber mats over the pipeline at logging road crossings).

#### 8.2.3.5 Commercial/Industrial Land

Impacts to commercial/industrial land and the measures that Mountain Valley will use to avoid or minimize impacts from the Amendment Project to commercial/industrial areas have not changed from those described in the FEIS.

#### Roadways

The number of public roadways crossed by the Amendment Project in each county is listed in Table 8.2-4. These roads range from maintained gravel municipal roads to state highways. A table listing each roadway crossed is included in Table 8-C in Appendix 8-C. Potential temporary impacts and construction techniques to minimize impacts associated with roadway crossings by the pipeline have not changed from the FEIS. There are no anticipated permanent effects on the existing use of the roadways crossed by the Amendment Project.

Like the Original Certificated Project described in the FEIS, most hard surface public roadways will be crossed by conventional bore. Other smaller, non-artery-type hard-surface roadways and drives may be crossed by open cut. Regardless of the method used, measures to maintain safety, minimize traffic disruption, and ensure that construction activities will not prevent the passage of emergency vehicles have not changed from the FEIS. Mountain Valley will obtain all necessary permits for public road crossings or work within public road rights-of-way, including required road bonds necessary for construction vehicle usage and permits from the Virginia Department of Transportation ("VDOT") and the North Carolina Department of Transportation ("NCDOT"). Mountain Valley will work with the governing agency and facilitate repair of any significant damage caused by Amendment Project construction activities.

Table 8.2-4												
Summary of Public Roadways Crossed by the Amendment Project												
County, State Number of Public Roadways Crossed												
Pittsylvania, VA	23											
Rockingham, NC 2												
Amendment Project Total 25												

#### Railroads

The Amendment Project will cross two active railroads. As described in the FEIS for the Original Certificated Project, active railroads would be crossed by conventional bore. All activities within the railroad easement will be closely coordinated with the respective railroad owner. Table 8.2-5 identifies the location and ownership of railroads crossed by the Amendment Project.

	Table 8.2-5												
Railroads Crossed by the Amendment Project													
County, State MP Railroad Active or Proposed Crossing Abandoned Method													
Pittsylvania, VA	5.6	Southern Railroad	Active	Conventional Bore									
Pittsylvania, VA	25.6	Southern Railroad	Active	Conventional Bore									



#### 8.2.3.6 Wetland

Wetlands are defined and described in Resource Report 2 and the FEIS. Construction procedures to minimize impacts on wetlands have not changed since the FEIS. The permanent easement will predominantly be maintained with mechanized clearing. Herbicide will only be used to control invasive species, as necessary. Herbicides and pesticides will not be used in or within 100 feet of a wetland or waterbody unless specified by a federal or state agency.

#### 8.2.3.7 Residential Land

Section 8.3 below provides details on existing residences within 50 feet of the Amendment Project area and planned developments within 0.25 mile of the Amendment Project area. Measures that the Mountain Valley will implement to minimize impacts where the construction workspace is located on land in active residential use have not changed from those described in the FEIS. Site-specific Residential Construction Plans for residences located within 25 feet of the proposed workspace are included in Appendix 8-D.

#### 8.2.3.8 Open Water

Open water includes field-delineated waterbodies with a bank width of greater than six feet and waterbodies visible on aerial photography where field delineation has not been completed. Major waterbody crossings and proposed crossing methods are identified in Resource Report 2. Information on potential waterbody impacts associated with the construction and operation of the Amendment Project, as well as impact minimization measures, have not changed from that described in the FEIS.

#### 8.2.3.9 Special Land Uses

Special land uses include areas such as land associated with schools, parks, places of worship, cemeteries, sports facilities, campgrounds, golf courses, and recreational fields. Special land uses may also be included within other land use cover types as classified by the Amendment Project (e.g., golf courses are included within Open Land). Public lands and designated recreational areas are discussed in detail in Section 8.4 below.

Several cemeteries were identified within 0.25 mile of the Amendment Project (see Resource Report 4). Mountain Valley will avoid impacting identified cemeteries within the survey corridor through alignment and workspace deviations. Additional information on impact avoidance and mitigation related to cemeteries identified to date is included in Resource Report 4.

Places of worship identified within 0.25 mile of the Amendment Project in Pittsylvania County, Virginia, include:

- Banister Springs Church (0.1 mile north of approximate MP 4.6);
- Belle Grove Church (<0.1 mile southeast of approximate MP 4.6);
- Triumph Church (0.1 mile west of temporary access road TA-PI-006); and
- Harmony Church (0.1 miles northwest of approximate MP 24.2).

Schools identified within 0.25 mile of the Amendment Project in Pittsylvania County, Virginia, include:

- Pittsylvania Career and Technical Center (<0.1 mile east of temporary access road TA-PI-011);
- Chatham Middle School (0.1 mile southeast of temporary access road TA-PI-011); and
- Southside Elementary School (0.1 mile southwest of contractor yard CY-37).



No workspace is proposed within these properties, and no impact is anticipated on the places of worship from construction or operation of the Amendment Project based on the distances from the places of worship to the pipeline alignment, the low relief of the Amendment Project area, and the presence of a vegetation buffer between the facilities and the Amendment Project.

No cemeteries were identified within 0.25 mile of the Amendment Project in North Carolina. One place of worship, Summit Road Church of God, was identified 0.2 mile to the northwest of contractor yard CY-05 near MP 31.5. No schools were identified within 0.25 mile of the Amendment Project in North Carolina. No impacts to the place of worship are anticipated, as construction impacts from contractor yards are typically limited to the contractor yard workspace.

#### 8.3 RESIDENTIAL AND COMMERCIAL AREAS

#### 8.3.1 Planned Residential and Commercial Areas

Planned development is defined as any development that is included in a master plan or is on file with the local planning board or county. Mountain Valley has initiated consultation with county and municipal planning agencies for the Amendment Project area to request information regarding proposed future development within a 0.25-mile radius of the Amendment Project facilities. Additionally, information on planned residential and commercial development was obtained through research of publicly available online databases, review of public comments submitted to FERC, and discussions with landowners and municipalities during the survey process. Mountain Valley is aware of multiple residential and commercial areas in their early stages of planning or development located within 0.25 mile of the Amendment Project (see Resource Report 1, Table 1.10-1). Mountain Valley is consulting with developers and municipal officials regarding those plans and is committed to working with the project proponent(s).

#### 8.3.2 Existing Residences and Buildings

Mountain Valley has minimized impacts on residential properties by routing the pipeline away from residential developments to the extent practicable. However, because of other siting considerations, including topography, road crossings, waterbody crossings, and the desire to collocate with existing rights-of-way where feasible, the pipeline is sited in proximity to residences in several locations along the pipeline alignment. Table 8-E in Appendix 8-E lists structures that are within 50 feet of the proposed construction workspace for the pipeline. Site-specific residential construction plans for residences located within 25 feet of the proposed workspace are included in Appendix 8-D.

As identified in Table 8-E, a total of 18 residences are located within 50 feet of the edge of the proposed Amendment Project, including the construction right-of-way for the pipeline, temporary workspace, ATWS, access roads, pipe/contractor yards, and staging areas. One residence is located within 10 feet of construction workspace at MP 4.81. Written landowner concurrence for this residence is included in Appendix 8-F. Two other abandoned residences are located within 10 feet however, Mountain Valley has confirmed these buildings are abandoned.

Two occupied structures are also within 10 feet of CY-01 and CY-05. The property at CY-01 is owned by Mountain Valley. The re-acquisition of the agreement with the landowner at CY-05 is in progress and will be obtained closer to construction.



Impacts from construction activities on existing residences and buildings have not changed from those described within the FEIS. Likewise, minimization measures Mountain Valley will implement during construction, construction techniques, and post-construction activities have not changed from those described in the FEIS.

Based on landowner contacts to date, one septic system feature has been identified within the Amendment Project workspace (see Section 8.2.3.1). If additional septic system features are identified, methods to avoid or minimize impacts on the landowner have not changed from the FEIS. As discussed in Resource Report 2, Mountain Valley will identify drinking water wells within 150 feet of the construction area and will work with landowners to establish baseline data and preconstruction water quality.

Landowners will be notified of planned construction activities prior to the scheduled construction. The standard work schedule in residential areas will typically be six days per week during daylight hours, as described in Section 1.4.5 of Resource Report 1. Traffic in residential areas will be managed as described in Section 8.2.3.5., and speed limits will be strictly followed by all construction equipment and associated vehicles. Water trucks will be used to spray down the construction area if dust control is needed. Mountain Valley will continue to work with directly affected landowners to gather input regarding impact minimization and mitigation measures in residential land.

#### 8.4 PUBLIC LAND, RECREATION, AND OTHER DESIGNATED AREAS

Table 8.4-1 lists public lands, recreational lands, and other special interest areas, including ownership of those lands that are crossed by or located within 0.25 mile of the Amendment Project. Public recreational land and special interest areas are depicted in Appendix 8-G. A discussion of federal and state lands crossed, including impacts and mitigation, is provided below. Mountain Valley will continue to work with public and recreational landowners/managers to avoid and minimize interference with the use of public and recreational areas during the construction of the Amendment Project. USGS topographic maps, aerial photographs, public land databases, and field reconnaissance were used to identify parks, recreation areas, scenic areas, and other specially designated areas at the federal, state, and local levels within 0.25 mile of the Amendment Project facilities.

Public and recreational lands also provide a base for tourism in the Amendment Project counties, as defined and described in the FEIS. Tourism involving natural areas such as waterways and forestland is also referred to as "ecotourism." Areas identified in Section 8.4-1 and Table 8.4-1 below that provide locations for ecotourism include the Banister River, Sandy River, and the Dan River. The Dan River Blueway is an established Blueway Water Trail at the Amendment Project crossing, and the Banister River Blueway is proposed in the area where the Amendment Project crosses the Bannister River (Virginia Department of Conservation and Recreation ["VDCR"] 2024a). Impacts and mitigation associated with these areas used for tourism and ecotourism are described in the following sections. As with the Original Certificated Project described in the FEIS, Amendment Project-related activities are not expected to significantly affect the overall recreation and tourism experiences of residents and visitors to the region. Impacts to important recreation resources on public lands would be minimized through consultation with the appropriate land management agencies.



#### 8.4.1 Public or Conservation Land

The following section includes a discussion of Amendment Project-related impacts and mitigation measures for public or conservation lands crossed by the Amendment Project. Mountain Valley will coordinate with the applicable county or municipality on a site-specific basis regarding restoration and revegetation of the pipeline workspace areas on these lands to achieve consistency to the greatest extent practicable with preconstruction conditions on the impacted parcels. Mountain Valley has initiated discussions with the land management agencies along the amended route and will continue to coordinate with these agencies throughout the construction and operation of the Amendment Project. A list of agencies contacted for information, consultation, or technical assistance during the preparation of the Amendment application is provided in Resource Report 1, Appendix 1-I.



Facility /	MP	Name of Area	Land Ownership /	Pipeline	Land	Area Affecte	d (acres)	Distance and Direction	Crossing Method /
County, State			Management	Crossing Length (feet)	Use <u>a</u> /	Construction Operation		from Pipeline or Facility (feet)	Special Construction Measures
H-650 Pipeline									
Pittsylvania, VA	0.0	Transco Road Net Conservation Site	State Designated	NA	CI	NA	NA	Borders northwest	NA
Pittsylvania, VA	1.9 – 2.1	MVP Southgate Net VA- SB01CA Conservation Site	State Designated	961.95	FW, OL	4.04	1.09	0	NA
Pittsylvania, VA	4.3 – 4.6	Designated Banister River Segment/Future Blueway	State Designated	NA	NA	NA	NA	1,016 feet south	NA
Pittsylvania, VA	4.9	Banister River Blueway (Proposed)	Upper Reach Roanoke River Basin Association	94.6	FW, OW, OL	0.10	0.00	0	NA
Pittsylvania, VA	14.4 – 14.6	Easement	Virginia Outdoors Foundation	NA	NA	NA	NA	965 feet southeast	NA
Pittsylvania, VA	22.7 – 25.4	Berry Hill Industrial Park	Danville-Pittsylvania Regional Industrial Facility Authority (i.e., Commonwealth of Virginia)	14,299.54	CI, FW, WL, OL, OW	28.97	16.16	0	NA
Rockingham, NC	28.3 – 28.9	Dan River Blueway	State Designated	NA	NA	NA	NA	1,511 feet southeast	NA
Rockingham, NC	30.7	Dan River Blueway/Dan River Trail	North Carolina Watercraft Trail	NA (HDD)	OW	0.00	0.00	0	HDD
Access Roads									
Pittsylvania, VA	14.6	Easement	Virginia Outdoors Foundation	NA	AG	0.7	0.00	Borders TA-PI-035 to southeast	NA
Pittsylvania, VA	22.9 – 23.3	Berry Hill Industrial Park	Danville-Pittsylvania Regional Industrial Facility Authority (i.e., Commonwealth of Virginia)	NA	FW, WL	1.15	0.00	Intersects TA-PI-061	NA
Pittsylvania, VA	23.3 – 23.4	Berry Hill Industrial Park	Danville-Pittsylvania Regional Industrial Facility Authority (i.e., Commonwealth of Virginia)	NA	FW	0.88	0.00	Intersects TA-PI-063	NA

Notes: HDD = horizontal directional drill; NA = not applicable.

<u>a</u>/ AG = Agricultural; FW = Upland Forest/Woodland; CI = Commercial/Industrial, OL = Upland Open Land; OW = Open Water; WL = Wetland.

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#### 8.4.1.1 Pipeline Facilities

#### **Federal Land**

No federal lands were identified within 0.25 mile of the proposed construction work areas associated with the pipeline. Mountain Valley reviewed publicly available information from various websites, including the Bureau of Land Management National Conservation Lands, the National Park Service ("NPS") National Registry of Natural Landmarks, the NPS "Find a Park" tool, National Register of Historic Places National Archives, Wild and Scenic Rivers System, Land and Water Conservation Fund grant sites, protected NPS-affiliated sites, U.S. Department of Transportation ("USDOT") America's Byways, and U.S. Forest Service ("USFS") National Forest System land areas. This review determined that no National Parks, National Natural Landmarks, NPS Wilderness Areas, National Wild and Scenic Rivers, or National Scenic Byways are crossed or located within 0.25 mile of the proposed pipeline (Bureau of Land Management 2024; NPS 2024a, 2024b, 2024c, 2024d; USDOT 2024; USFS 2024; USGS 2024; Wild and Scenic Rivers 2024). Additionally, no National Forest Lands or trails were identified within 0.25 mile of the Amendment Project through a review of the USFS (2022) Land Status and Encumbrance web viewer. No federally designated wild or scenic rivers; lands administered by federal agencies; federally designated natural, recreational, or scenic areas; or federally designated or administered natural landmarks or visually sensitive areas were identified within a 0.5 mile of the Amendment Project. Additionally, no American battlefields were identified within 0.5 mile of the Amendment Project, and no Land and Water Conservation sites are within the Amendment Project area (NPS 2024e; Trust for Public Land 2024).

A segment of the Dan River crossed by the Amendment Project in North Carolina is listed on the Nationwide Rivers Inventory ("NRI") and is, therefore, a candidate river for the National Wild and Scenic Rivers System. The segment is identified on the NRI as possessing outstandingly remarkable values of cultural, fish, geologic, historic, recreational, scenic, and wildlife (NPS 2024f). Like the Original Certificated Project described in the FEIS, the Amendment Project proposes to cross the Dan River using HDD; therefore, no direct in-stream impact on the candidate river is anticipated from the construction or operation of the Amendment Project (see Section 8.4.2 below for additional information on the Dan River crossing).

#### Virginia State Land

Mountain Valley reviewed Virginia state-land databases to identify land owned or managed by the Commonwealth of Virginia within 0.25 mile of the Amendment Project. No Virginia Conservation Lands or Virginia Conservation Easements were identified within 0.25 mile of the Amendment Project based on a review of available databases (VDCR 2024b). One Virginia Outdoors Foundation ("VOF") conservation easement is located less than 1,000 feet southeast of MP 14.7. One other conservation area is adjacent to the Amendment Project: the White Oak Mountain Wildlife Management Area ("WMA"), which is located approximately one mile east of the pipeline right-of-way at approximately MP 1.4 (VDCR 2024b). The White Oak Mountain WMA is a 2,748-acre parcel managed by the Virginia Department of Wildlife Resources ("VDWR"). The area is used by the public for hunting, fishing, wildlife viewing, and hiking (VDWR 2024). No impacts from the construction or operation of the Amendment Project are anticipated on the area based on the distance of the area from the Amendment Project, the low relief of the Amendment Project area, and the presence of wooded vegetation between the White Oak Mountain WMA and the Amendment Project. Like the Original Certificated Project described in the FEIS, the Amendment Project will not affect any existing state parks (VDCR 2024c). Additionally, correspondence with the VDCR



confirmed that there are no State Natural Area Preserves in the Amendment Project area (see agency correspondence in Resource Report 1, Appendix 1-I).

A review of the Virginia Outdoors Plan Mapper identified a legislatively designated section of the Banister River located approximately 0.2 mile east of MP 5.1 (VDCR 2024a). The alignment crosses the Banister River at approximately MP 5.2. The segment of the Banister River crossed by the pipeline is proposed as a Blueway (VDCR 2024a). The Amendment Project construction is anticipated to be complete prior to the development of the future Blueway; therefore, no impacts on the Blueway are anticipated from the construction of the Amendment Project. No impacts on the use of the Banister River as a Blueway are anticipated from the operation of the Amendment Project. The pipeline will be located beneath the river and, aside from the construction period, will not obstruct passage on the river. To minimize impacts on the natural setting along the Blueway during operation, Mountain Valley will limit routine vegetation mowing or clearing adjacent to the Banister River to a 10-foot-wide corridor centered on the pipeline, within 25 feet of the mean high-water mark of the river, in accordance with the FERC Procedures. In addition, trees that are located within 15 feet of the pipeline and have roots that could compromise the integrity of the pipeline coating may be cut and removed from the permanent right-of-way. No impact on the scenic quality or recreational use of the designated Banister River segment is anticipated from the construction or operation of the Amendment Project based on the distance of the segment from the Amendment Project and the presence of U.S. Highway 29 between the Amendment Project and the river segment.

The Amendment Project identified Virginia state-owned land crossed by the pipeline alignment in Pittsylvania County from MP 22.6 to MP 25.3. The parcels are owned by a subdivision of the Commonwealth of Virginia, the Pittsylvania Regional Industrial Facility Authority, and are known collectively as the Berry Hill Industrial Park (see Resource Report 1, Section 1.10). The purpose of the parcels is for the development of an industrial park. Phase 1 of the industrial park development began in March 2017 and includes a completed 200-acre graded pad. Based on the early phase of development for the industrial park and collocation of the pipeline across the state-owned parcels, no impacts on the development or use of the industrial park are anticipated from the construction or operation of the Amendment Project.

Temporary access road TA-PI-061 is also located in the Berry Hill Industrial Park. Use of the access road may temporarily increase traffic on the roads during construction of the Amendment Project. Road maintenance may be required, resulting from heavy equipment traffic related to the Amendment Project. Mountain Valley will coordinate with the state regarding the use of the access roads during construction of the Amendment Project and will restore the temporary access roads as necessary to maintain existing conditions post-construction.

No other state-owned, state-managed, or state-designated scenic or recreational areas were identified as crossed or within 0.25 mile of the Amendment Project in Virginia (VDCR 2024a, 2024b; Virginia Department of Forestry 2024).

#### North Carolina State Land

Mountain Valley reviewed North Carolina state land databases to identify lands owned or managed by the State of North Carolina within 0.25 mile of the Project. According to the North Carolina Department of Administration ("NCDOA") State Owned Lands database, no state-owned or managed lands are present within 0.25 mile of the Amendment Project (NCDOA 2024).



A review of the North Carolina Conservation Planning Tool (North Carolina Natural Heritage Program ["NCNHP"] 2024) identified that the proposed pipeline right-of-way is located 0.25 mile from four contiguous land parcels being considered as designated state parkland by the North Carolina Division of Parks and Recreation ("NCDPR"). Based on the distance and the presence of wooded vegetation between the Amendment Project and the parcels, no impact on the potential designated parkland is anticipated from the construction or operation of the Amendment Project.

No other state-owned, state-managed, or state-designated scenic or recreational areas were identified as crossed or within 0.25 mile of the Amendment Project in North Carolina (NCDPR 2024; NCNHP 2022, NCDOA 2024).

#### County and Municipality Land

The pipeline alignment crosses two parcels owned by Pittsylvania County from approximately MP 5.7 to 6.8 in Virginia. A portion of the property, west of the pipeline crossing, is currently used as a municipal solid waste landfill (Pittsylvania County 2024). Within the parcels, the pipeline alignment is located parallel to an existing maintained Transcontinental Gas Pipe Line Company, LLC ("Transco") pipeline right-of-way. Based on the location of the proposed pipeline adjacent to existing underground natural gas pipelines, no impacts to the county's use of these parcels are anticipated from the construction or operation of the Amendment Project. Temporary access roads TA-PI-015, 016, and 017 are also associated with the county parcels. Use of the county access roads may temporarily increase traffic on the roads during construction of the Amendment Project and could cause road maintenance to be required from Amendment Project-related heavy equipment traffic. Mountain Valley will coordinate with the county regarding the use of the access roads during the construction of the Amendment Project and will restore the temporary access roads as necessary to preconstruction conditions. No contractor yards are within or abutting county-or municipality-owned land.

#### **Non-Governmental Organization Land**

Mountain Valley reviewed the VOF to identify Virginia conservation easements. One easement (PIT-VOF-3215) was identified 0.2 mile from the pipeline alignment at approximate MP 14.7 in Pittsylvania County, Virginia. This conservation easement is privately owned but is managed by VOF. The easement does not allow for public access. Temporary access road TA-PI-035 is located adjacent to the VOF easement parcel. The access road is not located within the VOF parcel; therefore, no impacts on the easement from the use of the access road are anticipated from the construction of the Amendment Project. No VOF reserves or Special Project Areas were identified within the Amendment Project area (VOF 2024).

#### 8.4.1.2 Aboveground Facilities

No federal or state-owned or managed lands were identified within 0.25 mile of the proposed aboveground facilities through a review of the above-referenced databases (see Section 8.4.1.1). No visual or noise disturbance is anticipated on the access from construction or operation of the Amendment Project.



#### 8.4.2 Natural, Recreational, or Scenic Areas

#### 8.4.2.1 Pipeline Facilities

A review of the North Carolina Conservation Planning Tool (NCNHP 2024) identified the Dan River Trail as a North Carolina watercraft trail. The pipeline alignment crosses the Dan River at MP 30.8 in Rockingham County, North Carolina. The Dan River Trail provides boating recreation opportunities. Mountain Valley proposes to cross the Dan River using HDD; therefore, no impact on the use of the river for recreational watercraft is anticipated during the construction or operation of the Amendment Project. Temporary sedimentation from upland construction and visual and noise impacts may occur for a short duration during construction. Temporary visual impacts are not anticipated to be significant due to the presence of a wooded buffer along both banks of the river, providing visual screening of equipment in the staging areas located on either side of the river crossing.

#### **Private Recreational Areas**

Mountain Valley reviewed publicly available databases, field data, and aerial photography to identify private recreational areas located within 0.25 mile of the Amendment Project. These areas could include campgrounds, golf courses, racetracks, and other private recreational areas. None were identified in the review area.

#### **Natural Resources Conservation Service and Farm Service Agency Programs**

Agricultural landowners in the Amendment Project area may be enrolled in USDA programs managed through the NRCS and the Farm Service Agency ("FSA"). The NRCS negotiates easements with landowners for a variety of land and habitat conservation priorities. The Agricultural Act of 2014 established the Agricultural Conservation Easement Program. It repealed the Farm and Ranchland Protection Program ("FRPP"), the Grassland Reserve Program ("GRP"), and the Wetlands Reserve Program ("WRP") but did not affect the validity or terms of any FRPP, GRP, or WRP contract, agreement, or easement entered into prior to the date of enactment on February 7, 2014, or any associated payments required to be made in connection with an existing FRPP, GRP, or WRP contract, agreement or easement. NRCS offers easement programs to landowners who want to maintain or enhance their land in a way beneficial to agriculture and/or the environment. All NRCS easement programs are voluntary, and NRCS provides technical help and financial assistance to participating landowners (USDA NRCS 2024a).

The Agricultural Conservation Easement Program provides financial and technical assistance to help conserve agricultural lands and wetlands and their related benefits. Under the Agricultural Land Easements component, the NRCS helps Native American tribes, state and local governments, and non-governmental organizations protect working agricultural lands and limit non-agricultural uses of the land. Under the Wetlands Reserve Easements component, NRCS helps to restore, protect, and enhance enrolled wetlands. The Healthy Forests Reserve Program helps landowners restore, enhance, and protect forestland resources on private lands through easements and financial assistance. Through the Healthy Forests Reserve Program, landowners promote the recovery of endangered or threatened species, improve plant and animal biodiversity, and enhance carbon sequestration (USDA NRCS 2024a).

The Conservation Reserve Program ("CRP") is a land conservation program administered by the FSA and is the country's largest private land conservation program. In exchange for a yearly rental payment, farmers enrolled in the program agree to remove environmentally sensitive land from agricultural production and plant species that will improve environmental health and quality. Contracts for land enrolled in CRP are



10 to 15 years in length. The long-term goal of the program is to re-establish valuable land cover to help improve water quality, prevent soil erosion, and reduce loss of wildlife habitat. The Conservation Reserve Enhancement Program ("CREP") is an offshoot of the CRP. Also administered by the FSA, CREP targets high-priority conservation issues identified by local, state, or tribal governments or non-governmental organizations (USDA FSA 2024).

A review of USDA NRCS easement data (USDA NRCS 2024b) did not identify any easement properties that would be crossed by the Amendment Project. To ensure the identification of USDA NRCS easements, Mountain Valley reviewed information from its landowner surveys and easement negotiations; no properties enrolled in USDA NRCS easements were identified as crossed by the Original Certificated Project or the Amendment Project.

#### **Hazardous Waste Sites**

Mountain Valley arranged for database research to identify, to the extent feasible, properties within 0.25 mile of the Amendment Project facilities previously impacted with oil and/or hazardous materials. A search was completed by Environmental Data Resources, Inc. ("EDR") to identify potential sources of contamination to nearby groundwater resources along the proposed Amendment Project facilities. Information from EDR is a compilation of available federal, state, and local government databases. One RCRA generator site, Valve Site (Transco), was identified 448 feet northwest and upgradient of the Amendment Project near MP 18.7. The site was identified as a Small Quantity Generator and Non-Generator for ignitable waste, lead, and benzene. EDR did not identify evaluations or violations for the site; therefore, the site is not likely to impact the Amendment Project. A summary of the environmental database sites of interest identified within 0.25 mile of the Amendment Project is included in Resource Report 2, Appendix 2-D.

Mountain Valley does not anticipate any potential concerns associated with hazardous materials during the construction and operation of the Amendment Project. If hazardous materials are encountered during pipeline construction, Mountain Valley will dispose of and/or implement mitigation measures for the hazardous materials in accordance with applicable local, state, and federal regulations.

#### 8.4.2.2 Aboveground Facilities

The Dan River Trail is a North Carolina-designated watercraft trail (see Section 8.4.2.1). The Dan River Interconnect #1 is within 0.25 mile of the Dan River in Rockingham County, North Carolina. Based on the distance of the Dan River Trail from the interconnect, the low relief in the Amendment Project area, and a wooded buffer along the banks of the Dan River, no significant temporary or long-term visual or noise impacts are anticipated from construction or operation of the Dan River Interconnect #1 on the Dan River Trail.

Additionally, the aboveground facilities are not located on any NRCS or FSA easement program parcels based on the landowner consultations completed to date.

#### 8.4.3 Coastal Zone Management Areas

The Amendment Project is not located within a Coastal Zone Management Area (North Carolina Department of Environmental Quality 2024; Virginia Department of Environmental Quality 2024).



#### 8.4.4 Agency and Landowner Consultation

Resource Report 1 provides an overview of the agency and public participation process for the Amendment Project. Additionally, the revised Project Public Participation Plan is provided in Resource Report 1, Appendix 1-G. A list of agencies contacted for information, consultation, or technical assistance during the preparation of this Amendment Application and copies of correspondence received to date are provided in Resource Report 1, Appendix 1-I. Mountain Valley previously developed Landowner Complaint Resolution Procedures as a condition of the Order issued for the Original Certificated Project. This procedure has been updated for the Amendment Project and is included in Resource Report 1, Appendix 1-G.

#### 8.5 VISUAL RESOURCES

Visual resources include visually sensitive areas and residential areas. A discussion of residential areas and mitigation is included in Section 8.3.2 above. Visually sensitive areas also include scenic roads, rivers, and trails, which may be designated at the federal, state, or local level, as well as public parks and recreation areas. A discussion of public lands, parks, and trails is provided in Section 8.4 above. Potential adverse effects on visual resources have not changed from the FEIS.

Long-term effects on visual resources from the operation of the proposed pipeline and aboveground facilities include the permanent removal of trees in the permanent right-of-way and permanent alteration of vegetation at the aboveground facility sites. Visual effects can also occur associated with vegetation removal in designated scenic areas, sites, or corridors if proposed activities cannot be mitigated to meet the regulatory objectives of the associated management plans. The Federal Highway Administration America's Byways program and the Virginia and North Carolina State Scenic Byways programs were reviewed to identify any designated scenic sites, vistas, roads, and corridors potentially affected by the Amendment Project. The Amendment Project does not cross any Virginia Scenic Byways or North Carolina Byways (NCDOT 2024; VDOT 2024). No visually sensitive areas were identified within 0.25 mile of the Amendment Project aboveground facilities.

#### 8.5.1 Pipeline Facilities

Visual impacts associated with the construction and operation of the pipeline may result from the removal of vegetation, particularly in forested areas. These impacts may be most observable where the pipeline parallels or crosses roads and where vegetation is removed between the right-of-way and residences. To the extent practicable, the Amendment Project will not significantly change the topographical landscape from its current profile. Following construction, Mountain Valley will seed disturbed areas in non-agricultural lands in accordance with the project-specific E&SC plans. Mountain Valley is revising its project-specific, site-specific E&SC plans, which will comply with Virginia and North Carolina erosion control regulations and requirements. Where the pipeline traverses forested areas, the visual impact will be longer term due to vegetation maintenance within the 50-foot-wide permanent right-of-way. These effects are typically most noticeable where the pipeline crosses roads or cuts through wood lots or where vegetation is removed between the permanent right-of-way and residences. To the extent practicable, Mountain Valley has attempted to avoid large tracts of forest land to reduce potential visual impacts on the landscape.

The majority of the pipeline alignment is located within open land and forest/woodland. In open lands, the maintained pipeline will not significantly alter the visual characteristic of the area following revegetation



and reversion of the land to preconstruction cover types. In areas where the pipeline is located in forested areas, the maintained right-of-way may be visible from certain viewpoints on roadways and at nearby residences. Since a significant portion of the pipeline will be located adjacent to and collocated with existing utility rights-of-way, and because of the existing field and forest patchwork landscape and the generally low relief in the Amendment Project area, visual impacts during operation of the pipeline are expected to be minimal.

#### 8.5.2 Aboveground Facilities

Effects on visual resources for each aboveground facility are discussed in the sections below. To reduce visual impacts from aboveground facilities within 500 feet of residential areas or public roads, including the Lambert Interconnect, MLVs 2 and 3, the Dan River Interconnect #1, and the Dan River Interconnect #2, Mountain Valley will employ measures when designing and constructing the facilities to minimize visual impacts from construction and operation of the facilities. Such measures may include, and are not limited to:

- maintaining existing foliage, to the maximum extent practicable, around the facility;
- maintaining existing vegetative screening around the facility boundaries;
- painting buildings and equipment inside the stations in colors that reduce contrast with the natural or adjacent developed environment;
- installing downward-facing, shielded lights to mitigate off-site exposure; and,
- installing visual slats in facility fencing.

#### 8.5.2.1 Compressor Stations

Mountain Valley has removed the Lambert Compressor Station from the Amendment Project. No compression is required for the Amendment Project.

#### 8.5.2.2 Pig Launcher and Receiver

A pig launcher facility will be located within the Lambert Interconnect site in Pittsylvania County, Virginia. Visual effects from the pig launcher are the same as those discussed for the Lambert Interconnect below.

A pig receiver facility will be located at approximately MP 31.3 at the Dan River Interconnect #1 in Rockingham County, North Carolina. Visual effects from the pig receiver and launcher are the same as those discussed for the Dan River Interconnect #1 in Section 8.5.2.3 below.

#### 8.5.2.3 Mainline Valves and Meter Stations

#### **Mainline Valves**

The Amendment Project will include four MLVs at intermediate locations along the pipeline alignment (see Resource Report 1). MLV 1 will be located within the footprint of the Lambert Interconnect (MP 0.0), and MLV 4 will be located within the footprint of the Dan River Interconnect #1 (MP 31.3). Visual effects from these MLVs are the same as those discussed for the Lambert Interconnect and the Dan River Interconnect #1 (below).

MLVs 2 and 3 are located within the permanent right-of-way for the pipeline. The locations and effects on visual resources have not changed from those presented in the FEIS. Additionally, the MLVs are not



located within 0.25 mile of any public parks, recreation areas, or scenic byways; therefore, no significant long-term visual effects are anticipated from these minor aboveground facilities.

#### **Meter Stations**

Mountain Valley will install meter (interconnect) stations as defined and described in Resource Report 1. Each interconnect will consist of one or more meter runs located inside a fenced and gated site and will contain flow and or pressure control.

The Lambert Interconnect will be located at MP 0.0 in Pittsylvania, Virginia. The Lambert Interconnect will be within an area that is currently a mix of agriculture and forested land. Once constructed, the facility would be surrounded by trees on three sides, shielding the facility from public view. Additionally, there are no homes or major roadways within 0.5 mile of the facility. The closest residence is about 0.6 mile southeast of the facility. This residence would not have direct views of the site during construction or operation due to existing vegetation around the interconnect and near the residence. Several other homes are southwest of the facility, approximately 500 feet from the pipeline right-of-way. The Lambert Interconnect would not be visible from these residences due to natural vegetative screening. No significant long-term visual effects are anticipated from the construction of the operation of the facility.

The LN 3600 Interconnect will be located at MP 28.9, and the Dan River Interconnect #1 will be located at MP 31.3, both in Rockingham County, North Carolina. The location and land use at both facility locations have not changed from that described in the FEIS; therefore, the visual impacts associated with the construction of each facility have not changed. Additionally, neither station is located within 0.25 mile of any public parks, recreation areas, or scenic byways; therefore, no significant long-term visual effects are anticipated from the operation of the facilities.

The Dan River Interconnect #2 will be located at MP 31.3 in Rockingham County, North Carolina, adjacent to the Dan River Interconnect #1. The facility will be accessed from an existing permanent access road (PA-RO-082) off Route 709. The station is not located within 0.25 mile of any public parks. Mountain Valley has located its newly proposed Dan River Interconnect #2 site adjacent to its proposed Dan River Interconnect #1 facility and across the road from other existing natural gas facilities in order to reduce visual impacts. Although the sites are located within the vicinity of a residence (i.e., approximately 500 feet to the south), the facilities will be separated from the viewshed by a large, forested tract adjacent to PA-RO-02. The tract possesses large deciduous trees that are generally over 20 feet tall. No significant aboveground structures are proposed at either facility that would be seen from this residence. As such, no significant visual effects are anticipated from the construction and operation of these facilities.

#### 8.5.3 Cathodic Protection

Mountain Valley will install two groundbeds for cathodic protection as defined and described in the FEIS and Resource Report 1. Groundbeds are located primarily within upland open land, within or at the edge of existing open fields, and are not anticipated to result in any significant visual impact on the landscape. Maintained groundbeds will be installed subsurface and will blend with the existing landscape in the Amendment Project area.



#### 8.6 APPLICATIONS FOR RIGHTS-OF-WAY AND OTHER LAND USE

No land under the jurisdiction of federal land-managing agencies will be affected by the Amendment Project; therefore, no applications for rights-of-way or other land use will be filed with federal land-managing agencies for the Amendment Project.



#### 8.7 REFERENCES

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## **MVP Southgate Amendment Project**

Docket No. CP25-XX-000

**Resource Report 8** 

**Appendix 8-A** 

Land Use Crossed by Milepost by the Amendment Project Pipeline



Table 8-A			
Land Use Crossed by M Land Use	ilepost by the Amendmer Entry MP	nt Project Pipeline Exit MP	Length (feet
H-650 Pipeline	,		
Commercial/Industrial	0.00	0.10	547.48
Upland Forest/Woodland	0.10	0.17	329.26
Commercial/Industrial	0.17	0.20	166.25
Upland Forest/Woodland	0.20	0.23	174.28
Wetland	0.23	0.23	5.18
Upland Forest/Woodland	0.23	0.24	29.08
Wetland	0.24	0.24	8.94
Upland Forest/Woodland	0.24	0.44	1070.98
Wetland	0.44	0.45	37.07
Upland Forest/Woodland	0.45	0.45	2.81
Wetland	0.45	0.45	17.77
Upland Forest/Woodland	0.45	0.61	815.84
Wetland	0.61	0.65	215.41
Wetland	0.65	0.65	19.59
Wetland	0.65	0.67	79.23
Upland Forest/Woodland	0.67	0.67	7.51
Open Water	0.67	0.67	19.93
Upland Open Land	0.67	0.73	293.85
Upland Forest/Woodland	0.73	0.74	68.61
Upland Open Land	0.74	0.75	29.91
Upland Forest/Woodland	0.75	0.79	251.56
Upland Open Land	0.79	0.82	122.23
Upland Forest/Woodland	0.82	0.83	50.49
Upland Open Land	0.83	0.83	33.02
Wetland	0.83	0.83	6.06
Upland Open Land	0.83	0.85	69.47
Wetland	0.85	0.87	112.75
Upland Open Land	0.87	0.98	589.43
Commercial/Industrial	0.98	0.99	28.44
Upland Open Land	0.99	1.14	836.45
Commercial/Industrial	1.14	1.15	30.49
Agriculture	1.15	1.15	10.85
Wetland	1.15	1.15	16.90
Agriculture	1.15	1.19	197.10
Upland Forest/Woodland	1.19	1.21	97.83
Agriculture	1.21	1.21	2.77
Upland Forest/Woodland	1.21	1.21	3.03
Agriculture	1.21	1.23	96.38
Upland Forest/Woodland	1.23	1.25	131.65
Wetland	1.25	1.26	19.46
Upland Forest/Woodland	1.26	1.26	22.38
Agriculture	1.26	1.34	388.16
Upland Forest/Woodland	1.34	1.34	40.62
Agriculture	1.34	1.36	98.87



Table 8-A			
Land Use Crossed by M Land Use	ilepost by the Amendmer Entry MP	t Project Pipeline Exit MP	Length (feet)
Upland Forest/Woodland	1.36	1.38	85.30
Agriculture	1.38	1.39	81.12
Upland Forest/Woodland	1.39	1.40	4.37
Agriculture	1.40	1.40	13.72
Upland Forest/Woodland	1.40	1.41	53.00
Agriculture	1.41	1.41	23.83
Upland Forest/Woodland	1.41	1.43	71.49
Upland Open Land	1.43	1.58	807.27
Upland Forest/Woodland	1.58	1.67	511.59
Upland Open Land	1.68	1.68	43.03
Upland Forest/Woodland	1.68	1.69	14.34
Upland Open Land	1.69	1.69	33.00
Upland Forest/Woodland	1.69	1.70	29.16
Upland Open Land	1.70	1.71	86.05
Upland Forest/Woodland	1.71	1.72	15.56
Wetland	1.72	1.72	3.12
Wetland	1.72	1.73	71.63
Wetland	1.72	1.73	997.31
Upland Open Land	1.73	2.00	393.52
Wetland	2.00	2.00	34.52
	2.00	2.00	5.60
Upland Open Land Upland Forest/Woodland	2.00	2.00	72.15
·			
Open Water	2.02	2.02	28.02
Upland Forest/Woodland	2.02	2.10	402.36
Wetland	2.10	2.24	765.60
Wetland	2.24	2.48	1259.98
Upland Open Land	2.48	2.51	173.95
Wetland	2.51	2.52	35.46
Upland Forest/Woodland	2.52	2.53	35.94
Upland Open Land	2.53	2.59	343.81
Upland Forest/Woodland	2.59	2.73	696.38
Upland Open Land	2.73	2.74	102.16
Upland Forest/Woodland	2.74	2.80	311.81
Upland Open Land	2.80	2.84	225.94
Upland Forest/Woodland	2.85	2.87	135.42
Upland Open Land	2.87	3.22	1817.29
Commercial/Industrial	3.22	3.22	28.17
Upland Open Land	3.22	3.28	301.39
Commercial/Industrial	3.28	3.28	29.02
Agriculture	3.28	3.47	1003.33
Upland Open Land	3.47	3.52	238.54
Upland Forest/Woodland	3.52	3.53	67.74
Upland Open Land	3.53	3.56	168.25
Agriculture	3.56	3.86	1537.83
Upland Forest/Woodland	3.86	3.88	120.46



Table 8-A			
Land Use Crossed by M Land Use	ilepost by the Amendmer Entry MP	nt Project Pipeline Exit MP	Length (feet)
Wetland	3.88	3.89	42.86
Upland Forest/Woodland	3.89	3.91	117.83
Upland Open Land	3.91	3.95	232.99
Upland Forest/Woodland	3.95	3.97	95.02
Upland Open Land	3.97	4.09	654.76
Upland Forest/Woodland	4.09	4.17	398.44
Agriculture	4.17	4.17	2.67
Upland Forest/Woodland	4.17	4.18	36.52
Agriculture	4.18	4.18	7.30
Upland Forest/Woodland	4.18	4.19	80.34
Agriculture	4.19	4.20	7.30
Upland Forest/Woodland	4.20	4.21	74.84
Agriculture	4.21	4.21	1.85
Upland Forest/Woodland	4.21	4.24	184.75
Agriculture	4.24	4.25	12.45
Upland Forest/Woodland	4.25	4.25	2.47
Agriculture	4.25	4.25	1.18
Upland Forest/Woodland	4.25	4.25	6.28
Agriculture	4.25	4.33	402.56
Upland Forest/Woodland	4.33	4.34	74.99
Wetland	4.34	4.34	9.67
Upland Forest/Woodland	4.34	4.35	32.44
Agriculture	4.35	4.43	426.92
Upland Forest/Woodland	4.43	4.45	89.69
Agriculture	4.45	4.45	2.32
Upland Forest/Woodland	4.45	4.45	1.27
Agriculture	4.45	4.55	554.03
Commercial/Industrial	4.55	4.56	28.52
Upland Forest/Woodland	4.56	4.59	174.69
Commercial/Industrial	4.59	4.59	28.52
Upland Forest/Woodland	4.59	4.63	206.77
Upland Forest/Woodland	4.63	4.64	24.96
Commercial/Industrial	4.64	4.66	106.95
Upland Forest/Woodland	4.66	4.73	363.63
Upland Open Land	4.73	4.73	2.37
Upland Forest/Woodland	4.73	4.73	1.20
Upland Open Land	4.73	4.98	1344.79
Upland Forest/Woodland	4.98	5.10	609.47
Upland Open Land	5.10	5.17	372.36
Wetland	5.17	5.21	196.13
Wetland	5.21	5.25	206.15
Upland Open Land	5.25	5.25	30.90
Open Water	5.25	5.26	46.18
Upland Forest/Woodland	5.26	5.26	12.83
Upland Open Land	5.26	5.31	253.94
Opiana Open Lana	0.20	0.01	200.04



Table 8-A			
Land Use Crossed by M Land Use	ilepost by the Amendmer Entry MP	t Project Pipeline Exit MP	Length (feet
Upland Forest/Woodland	5.31	5.32	63.64
Wetland	5.32	5.33	32.73
Open Water	5.33	5.34	39.74
Wetland	5.34	5.36	102.13
Upland Forest/Woodland	5.36	5.43	404.02
Wetland	5.43	5.45	83.93
Upland Forest/Woodland	5.45	5.45	0.69
Open Water	5.45	5.45	21.38
Upland Forest/Woodland	5.45	5.46	28.36
Wetland	5.46	5.56	516.16
Upland Forest/Woodland	5.56	5.57	57.37
Commercial/Industrial	5.57	5.58	50.97
Upland Forest/Woodland	5.58	5.74	871.78
Upland Open Land	5.74	5.85	561.23
Upland Forest/Woodland	5.85	5.85	33.82
Upland Open Land	5.85	5.97	598.69
Wetland	5.97	5.97	13.94
Upland Open Land	5.97	6.08	584.53
Upland Forest/Woodland	6.08	6.10	126.47
Upland Open Land	6.10	6.11	24.18
Upland Forest/Woodland	6.11	6.11	5.10
Upland Open Land	6.11	6.20	500.42
Upland Forest/Woodland	6.20	6.21	1.72
Upland Open Land	6.21	6.21	2.72
Upland Forest/Woodland	6.21	6.24	181.64
Upland Forest/Woodland	6.24	6.24	1.18
Upland Forest/Woodland	6.24	6.24	3.10
Upland Forest/Woodland	6.24	6.40	822.17
Upland Open Land	6.40	6.42	122.65
Upland Forest/Woodland	6.42	6.46	219.53
Upland Open Land	6.46	6.47	21.02
Upland Forest/Woodland	6.47	6.51	245.28
Upland Open Land	6.51	6.52	49.86
Upland Forest/Woodland	6.52	6.54	85.77
Upland Open Land	6.54	6.58	214.02
Upland Forest/Woodland	6.58	6.73	800.40
Upland Open Land	6.73	6.76	159.75
Upland Forest/Woodland	6.76	6.79	161.64
Upland Open Land	6.79	6.87	405.17
Upland Forest/Woodland	6.87	6.88	71.69
Wetland	6.88	6.88	21.74
Upland Forest/Woodland	6.88	6.89	25.43
Wetland	6.89	6.90	51.79
Upland Forest/Woodland	6.90	6.95	287.42
Upland Open Land	6.95	7.01	302.71



Table 8-A			
Land Use Crossed by Mi Land Use	lepost by the Amendmer Entry MP	t Project Pipeline Exit MP	Length (feet)
Silviculture	7.01	7.27	1367.41
Upland Forest/Woodland	7.27	7.31	221.20
Upland Open Land	7.31	7.35	224.49
Upland Forest/Woodland	7.35	7.37	79.56
Upland Open Land	7.37	7.48	602.23
Commercial/Industrial	7.48	7.49	38.26
Upland Open Land	7.49	7.62	668.51
Upland Forest/Woodland	7.62	7.69	373.43
Upland Open Land	7.69	7.73	208.70
Commercial/Industrial	7.73	7.73	27.33
Upland Open Land	7.73	7.80	336.73
Upland Forest/Woodland	7.80	7.80	5.45
Upland Open Land	7.80	7.80	3.98
Upland Forest/Woodland	7.80	7.81	41.06
Upland Open Land	7.81	7.81	4.11
Upland Forest/Woodland	7.81	7.81	12.32
Upland Open Land	7.81	7.82	31.25
Upland Forest/Woodland	7.82	7.82	5.45
Upland Open Land	7.82	7.82	0.25
Upland Forest/Woodland	7.82	7.82	5.21
Upland Open Land	7.82	7.82	3.00
Upland Forest/Woodland	7.82	7.83	84.55
Upland Open Land	7.83	7.83	1.51
Upland Forest/Woodland	7.83	7.84	4.03
Upland Open Land	7.84	7.93	523.22
Upland Forest/Woodland	7.93	7.97	184.28
Upland Open Land	7.97	8.01	208.59
Upland Forest/Woodland	8.01	8.03	98.91
Upland Open Land	8.03	8.03	28.60
Upland Forest/Woodland	8.03	8.03	9.82
Upland Open Land	8.03	8.05	104.83
Upland Forest/Woodland	8.05	8.07	81.49
Upland Open Land	8.07	8.07	2.26
Upland Forest/Woodland	8.07	8.08	41.37
Upland Open Land	8.08	8.08	30.80
Upland Forest/Woodland	8.08	8.12	195.70
Upland Open Land	8.12	8.28	846.32
Upland Forest/Woodland	8.28	8.28	10.90
Upland Open Land	8.28	8.28	1.35
Upland Forest/Woodland	8.28	8.28	4.14
Upland Open Land	8.28	8.29	4.05
Upland Forest/Woodland	8.29	8.29	4.09
Upland Open Land	8.29	8.29	24.55
Upland Forest/Woodland	8.29	8.29	1.41
Wetland	8.29	8.29	7.69



Table 8-A			
Land Use Crossed by Mi Land Use	lepost by the Amendmer Entry MP	nt Project Pipeline Exit MP	Length (feet)
Upland Open Land	8.29	8.29	10.53
Wetland	8.29	8.29	2.14
Upland Forest/Woodland	8.29	8.29	0.39
Upland Open Land	8.29	8.30	14.66
Upland Forest/Woodland	8.30	8.31	61.33
Upland Open Land	8.31	8.39	440.89
Commercial/Industrial	8.39	8.40	33.25
Upland Open Land	8.40	8.44	223.88
Upland Forest/Woodland	8.44	8.45	24.14
Upland Open Land	8.45	8.46	94.71
Upland Forest/Woodland	8.46	8.47	48.29
Upland Open Land	8.47	8.47	4.92
Upland Forest/Woodland	8.47	8.48	28.65
Upland Open Land	8.48	8.53	258.43
Upland Forest/Woodland	8.53	8.54	57.47
Upland Open Land	8.54	8.54	0.14
Upland Forest/Woodland	8.54	8.54	4.12
Upland Open Land	8.54	8.69	807.78
Upland Forest/Woodland	8.69	8.70	47.05
Upland Open Land	8.70	8.72	78.69
Wetland	8.72	8.74	116.91
Upland Forest/Woodland	8.74	8.77	184.85
Upland Open Land	8.77	8.83	291.95
Upland Forest/Woodland	8.83	8.84	78.48
Wetland	8.84	8.85	52.11
Wetland	8.85	8.86	25.91
Wetland	8.86	8.87	63.35
Upland Forest/Woodland	8.87	8.88	71.46
Wetland	8.88	8.89	46.51
Upland Forest/Woodland	8.89	8.90	31.15
Upland Forest/Woodland	8.90	8.94	229.88
Upland Open Land	8.94	9.12	957.94
Upland Forest/Woodland	9.12	9.19	359.26
Upland Open Land	9.19	9.21	106.58
Upland Forest/Woodland	9.21	9.25	193.92
Upland Open Land	9.25	9.27	125.36
Upland Forest/Woodland	9.27	9.36	473.32
Wetland	9.36	9.37	55.31
Upland Forest/Woodland	9.37	9.44	334.60
Agriculture	9.44	9.66	1155.15
Commercial/Industrial	9.66	9.66	37.09
Upland Forest/Woodland	9.66	9.67	50.58
Upland Open Land	9.67	9.74	354.45
Upland Forest/Woodland	9.74	9.83	496.36
Agriculture	9.83	9.90	364.21



Table 8-A			
Land Use Crossed by Mi Land Use	lepost by the Amendme Entry MP	nt Project Pipeline Exit MP	Length (feet)
Upland Forest/Woodland	9.90	10.09	993.27
Agriculture	10.09	10.16	389.40
Upland Forest/Woodland	10.16	10.16	1.41
Agriculture	10.16	10.17	6.67
Upland Forest/Woodland	10.17	10.22	296.04
Wetland	10.22	10.23	35.77
Upland Forest/Woodland	10.23	10.25	117.01
Wetland	10.25	10.26	41.35
Upland Forest/Woodland	10.26	10.26	24.57
Wetland	10.26	10.26	8.50
Upland Forest/Woodland	10.26	10.28	73.10
Wetland	10.28	10.29	44.89
Upland Forest/Woodland	10.29	10.35	344.48
Commercial/Industrial	10.35	10.40	254.94
Upland Forest/Woodland	10.40	10.41	42.57
Wetland	10.41	10.41	10.98
Upland Forest/Woodland	10.41	10.41	3.47
Wetland	10.41	10.41	4.12
Commercial/Industrial	10.41	10.42	27.97
Wetland	10.42	10.42	3.99
Commercial/Industrial	10.42	10.42	18.13
Wetland	10.42	10.42	1.18
Commercial/Industrial	10.42	10.53	577.38
Upland Forest/Woodland	10.53	11.07	2859.69
Commercial/Industrial	11.07	11.07	5.23
Upland Forest/Woodland	11.07	11.07	3.07
Commercial/Industrial	11.07	11.07	4.21
Upland Forest/Woodland	11.07	11.08	8.42
Commercial/Industrial	11.08	11.13	256.10
Silviculture	11.13	11.36	1222.16
Upland Forest/Woodland	11.36	11.36	5.84
Silviculture	11.36	11.36	0.85
Upland Forest/Woodland	11.36	11.41	269.50
Silviculture	11.41	11.51	516.54
Upland Forest/Woodland	11.51	11.51	1.51
Silviculture	11.51	11.51	1.84
Upland Forest/Woodland	11.51	11.60	514.14
Commercial/Industrial	11.60	11.61	27.74
Silviculture	11.61	11.96	1824.95
Wetland	11.96	11.96	29.08
Upland Forest/Woodland	11.96	11.96	3.29
Wetland	11.96	11.96	13.48
Upland Forest/Woodland	11.96	12.39	2246.59
Silviculture	12.39	12.45	341.85
Upland Forest/Woodland	12.45	12.52	358.33



Table 8-A				
Land Use Crossed by Milepost by the Amendment Project Pipeline				
Land Use	Entry MP	Exit MP	Length (feet)	
Agriculture	12.52	12.52	3.16	
Upland Forest/Woodland	12.52	12.52	2.01	
Agriculture	12.52	12.69	904.12	
Commercial/Industrial	12.69	12.70	31.04	
Upland Open Land	12.70	12.85	797.38	
Upland Forest/Woodland	12.85	12.87	91.75	
Agriculture	12.87	12.90	148.04	
Upland Forest/Woodland	12.90	12.90	28.93	
Agriculture	12.90	13.05	794.63	
Upland Forest/Woodland	13.05	13.10	264.02	
Wetland	13.10	13.11	11.89	
Open Water	13.11	13.11	20.44	
Upland Forest/Woodland	13.11	13.38	1422.51	
Upland Open Land	13.38	13.52	750.02	
Upland Forest/Woodland	13.52	13.53	30.33	
Upland Open Land	13.53	13.58	269.56	
Upland Forest/Woodland	13.58	13.61	168.48	
Upland Open Land	13.61	13.66	264.35	
Upland Forest/Woodland	13.66	13.66	14.95	
Upland Open Land	13.66	13.71	265.26	
Commercial/Industrial	13.71	13.72	27.62	
Upland Forest/Woodland	13.72	13.76	234.26	
Wetland	13.76	13.77	56.78	
Upland Forest/Woodland	13.77	13.79	90.10	
Wetland	13.79	13.80	39.74	
Upland Forest/Woodland	13.80	13.80	21.25	
Wetland	13.80	13.80	14.11	
Upland Forest/Woodland	13.80	14.06	1363.17	
Upland Forest/Woodland	14.06	14.40	1781.86	
Upland Open Land	14.40	14.56	822.41	
Upland Forest/Woodland	14.56	14.65	510.85	
Wetland	14.65	14.66	54.99	
Upland Forest/Woodland	14.66	14.66	7.18	
Wetland	14.66	14.67	28.58	
Upland Forest/Woodland	14.67	14.93	1402.90	
Upland Open Land	14.93	14.96	153.00	
Upland Forest/Woodland	14.96	15.04	387.78	
Upland Open Land	15.04	15.11	386.53	
Upland Forest/Woodland	15.11	15.13	115.19	
Wetland	15.13	15.13	0.51	
Upland Forest/Woodland	15.13	15.13	4.24	
Wetland	15.13	15.13	2.70	
Upland Forest/Woodland	15.13	15.17	179.23	
Commercial/Industrial	15.17	15.25	457.59	
Upland Open Land	15.25	15.26	21.09	



Table 8-A			
Land Use Crossed by Mi Land Use	lepost by the Amendmer Entry MP	nt Project Pipeline Exit MP	Length (feet)
Commercial/Industrial	15.26	15.27	47.77
Agriculture	15.27	15.59	1677.92
Upland Forest/Woodland	15.59	15.59	43.18
Agriculture	15.59	15.62	130.19
Upland Forest/Woodland	15.62	15.69	386.54
Agriculture	15.69	15.78	466.13
Silviculture	15.78	15.88	529.37
Upland Open Land	15.88	15.88	0.41
Silviculture	15.88	15.88	3.95
Upland Open Land	15.88	16.04	831.41
Upland Forest/Woodland	16.04	16.05	37.51
Upland Open Land	16.05	16.07	115.03
Upland Forest/Woodland	16.07	16.11	207.50
Open Water	16.11	16.11	13.45
Upland Forest/Woodland	16.11	16.21	532.13
Upland Forest/Woodland	16.21	16.34	702.71
Commercial/Industrial	16.34	16.35	44.27
Upland Forest/Woodland	16.35	16.48	702.94
Commercial/Industrial	16.48	16.54	277.95
Upland Forest/Woodland	16.54	16.58	203.55
Wetland	16.58	16.58	25.83
Upland Forest/Woodland	16.58	16.58	2.44
Wetland	16.58	16.58	4.83
Upland Forest/Woodland	16.58	16.68	521.96
Upland Open Land	16.68	16.85	911.64
Commercial/Industrial	16.85	16.86	37.62
Agriculture	16.86	16.91	259.56
Upland Forest/Woodland	16.91	16.92	80.31
Agriculture	16.92	16.93	2.45
Upland Forest/Woodland	16.93	16.93	4.25
Agriculture	16.93	16.98	309.85
Upland Forest/Woodland	16.98	17.01	125.47
Agriculture	17.01	17.01	2.73
Upland Forest/Woodland	17.01	17.01	4.44
Agriculture	17.01	17.09	415.83
Upland Forest/Woodland	17.09	17.13	215.08
Upland Open Land	17.13	17.15	118.30
Upland Forest/Woodland	17.15	17.15	2.61
Upland Open Land	17.15	17.15	0.98
Upland Forest/Woodland	17.15	17.16	35.85
Upland Open Land	17.16	17.19	150.94
Wetland	17.19	17.20	55.08
Upland Forest/Woodland	17.20	17.22	121.42
Agriculture	17.22	17.25	135.21
Upland Forest/Woodland	17.25	17.27	109.86



Table 8-A			
Land Use Crossed by M  Land Use	ilepost by the Amendme Entry MP	nt Project Pipeline Exit MP	Length (feet)
Agriculture	17.27	17.35	424.26
Upland Forest/Woodland	17.35	17.40	273.02
Agriculture	17.40	17.47	348.08
Upland Forest/Woodland	17.47	17.48	66.14
Agriculture	17.48	17.53	268.64
Upland Forest/Woodland	17.53	17.54	71.41
Upland Open Land	17.54	17.66	594.77
Upland Forest/Woodland	17.66	17.71	272.39
Open Water	17.71	17.71	17.24
Upland Forest/Woodland	17.71	17.75	226.42
Upland Open Land	17.75	18.03	1462.05
Upland Forest/Woodland	18.03	18.62	3119.89
Upland Open Land	18.62	18.62	15.13
Upland Forest/Woodland	18.62	18.63	35.09
Upland Open Land	18.63	18.63	8.64
Upland Forest/Woodland	18.63	18.63	6.69
Upland Open Land	18.63	18.64	19.22
Upland Forest/Woodland	18.64	18.65	45.85
Commercial/Industrial	18.65		144.70
	18.67	18.67 18.78	591.94
Upland Open Land			
Upland Forest/Woodland	18.78	18.81	117.38
Upland Open Land	18.81	18.84	153.21
Upland Forest/Woodland	18.84	18.92	446.47
Upland Open Land	18.92	19.04	625.41
Upland Forest/Woodland	19.04	19.04	28.92
Wetland	19.04	19.05	15.30
Upland Forest/Woodland	19.05	19.05	7.44
Wetland	19.05	19.06	35.77
Upland Forest/Woodland	19.06	19.09	161.36
Upland Open Land	19.09	19.11	120.79
Silviculture	19.11	19.25	760.02
Upland Open Land	19.25	19.29	216.60
Upland Forest/Woodland	19.29	19.30	56.13
Wetland	19.30	19.31	10.88
Upland Forest/Woodland	19.31	19.33	126.53
Wetland	19.33	19.34	48.31
Upland Forest/Woodland	19.34	19.36	112.76
Upland Open Land	19.36	19.41	277.30
Upland Forest/Woodland	19.41	19.43	79.49
Commercial/Industrial	19.43	19.43	3.44
Upland Forest/Woodland	19.43	19.43	0.98
Commercial/Industrial	19.43	19.44	57.41
Upland Open Land	19.44	19.65	1094.18
Commercial/Industrial	19.65	19.66	80.72
Upland Open Land	19.66	19.79	695.04



Table 8-A			
Land Use Crossed by Mi	lepost by the Amendme Entry MP	nt Project Pipeline Exit MP	Length (feet)
Upland Forest/Woodland	19.79	19.80	47.39
Upland Open Land	19.80	19.82	68.28
Upland Forest/Woodland	19.82	19.82	0.15
Upland Open Land	19.82	19.82	5.51
Upland Forest/Woodland	19.82	19.92	519.15
Upland Forest/Woodland	19.92	20.15	1230.98
Upland Open Land	20.15	20.16	83.09
Upland Forest/Woodland	20.16	20.17	52.88
Upland Open Land	20.17	20.19	102.31
Upland Forest/Woodland	20.19	20.21	71.42
Upland Open Land	20.21	20.29	443.25
Upland Forest/Woodland	20.29	20.35	329.56
Commercial/Industrial	20.35	20.38	157.18
Upland Forest/Woodland	20.38	20.40	105.09
Upland Open Land	20.40	20.49	470.78
Upland Forest/Woodland	20.49	20.70	1102.26
Upland Open Land	20.70	20.78	414.56
Wetland	20.78	20.79	33.60
Upland Forest/Woodland	20.79	20.80	58.84
Wetland	20.80	20.80	10.12
Upland Forest/Woodland	20.80	20.81	51.19
Upland Open Land	20.81	21.01	1075.02
Upland Forest/Woodland	21.01	21.02	52.91
Wetland	21.02	21.02	2.83
Upland Forest/Woodland	21.02	21.02	3.13
Wetland	21.02	21.03	10.53
Commercial/Industrial	21.03	21.08	276.68
Upland Forest/Woodland	21.08	21.12	218.08
Upland Open Land	21.12	21.16	217.28
Upland Forest/Woodland	21.16	21.29	663.82
Upland Open Land	21.29	21.36	377.89
Upland Forest/Woodland	21.36	21.39	179.08
Wetland	21.39	21.41	88.05
Upland Forest/Woodland	21.41	21.49	441.06
Upland Open Land	21.49	21.57	432.71
Upland Forest/Woodland	21.57	21.59	79.09
Upland Open Land	21.59	21.64	269.03
Wetland	21.64	21.65	47.08
Upland Open Land	21.65	21.65	0.42
Upland Forest/Woodland	21.65	21.65	0.68
Upland Open Land	21.65	21.65	3.71
Upland Forest/Woodland	21.65	21.66	31.86
Wetland	21.66	21.67	88.49
Upland Forest/Woodland	21.67	21.71	209.11
Upland Open Land	21.71	21.76	250.52



Table 8-A			
Land Use Crossed by M Land Use	ilepost by the Amendmer Entry MP	nt Project Pipeline Exit MP	Length (feet
Upland Forest/Woodland	21.76	22.24	2520.32
Upland Forest/Woodland	22.24	22.25	42.47
Residential	22.25	22.27	132.05
Upland Forest/Woodland	22.27	22.42	773.21
Wetland	22.42	22.42	4.03
Upland Forest/Woodland	22.42	22.42	15.02
Wetland	22.42	22.42	3.28
Upland Forest/Woodland	22.42	22.43	51.49
Residential	22.43	22.46	145.55
Wetland	22.46	22.46	10.99
Residential	22.46	22.46	10.53
Commercial/Industrial	22.46	22.47	26.38
Upland Forest/Woodland	22.47	22.48	89.46
Wetland	22.48	22.49	29.38
Upland Forest/Woodland	22.49	22.85	1906.89
Upland Open Land	22.49	22.87	94.91
Upland Forest/Woodland	22.87	23.63	4029.39
Open Water	23.63	23.63	14.33
Upland Forest/Woodland	23.63	23.94	1593.85
•	23.94	23.96	96.99
Upland Open Land			
Upland Forest/Woodland Wetland	23.96	24.01	292.66
	24.01	24.02	47.23
Upland Forest/Woodland	24.02	24.18	845.81
Commercial/Industrial	24.18	24.19	46.28
Upland Forest/Woodland	24.19	24.58	2068.84
Wetland	24.58	24.58	8.72
Upland Forest/Woodland	24.58	24.58	1.44
Wetland	24.58	24.59	18.24
Upland Forest/Woodland	24.59	24.60	69.67
Commercial/Industrial	24.60	24.66	330.22
Wetland	24.66	24.67	69.26
Commercial/Industrial	24.67	24.92	1311.73
Wetland	24.92	24.93	24.60
Commercial/Industrial	24.93	24.95	125.36
Wetland	24.95	24.96	27.96
Commercial/Industrial	24.96	24.96	20.21
Upland Forest/Woodland	24.96	24.99	175.71
Commercial/Industrial	24.99	25.21	1141.65
Wetland	25.21	25.23	124.28
Commercial/Industrial	25.23	25.27	190.94
Wetland	25.27	25.27	0.91
Commercial/Industrial	25.27	25.29	95.62
Wetland	25.29	25.30	70.26
Commercial/Industrial	25.30	25.31	22.30
Wetland	25.31	25.31	0.93



Table 8-A				
Land Use Crossed by Mi	ilepost by the Amendmer Entry MP	nt Project Pipeline Exit MP	Length (feet)	
Commercial/Industrial	25.31	25.32	54.74	
Wetland	25.32	25.33	85.66	
Commercial/Industrial	25.32	25.38	275.30	
Upland Forest/Woodland	25.38	25.63	1282.55	
Upland Forest/Woodland	25.63	25.63	20.56	
Commercial/Industrial	25.63	25.64	69.67	
Upland Forest/Woodland	25.64	25.79	782.61	
Wetland	25.79	25.79	4.36	
Upland Forest/Woodland	25.79	26.52	3819.06	
Upland Forest/Woodland Wetland	25.79	26.52		
11233112			2.40	
Upland Forest/Woodland	26.52	26.52	4.18	
Wetland	26.52	26.52	19.21	
Upland Forest/Woodland	26.52	26.53	27.33	
Wetland	26.53	26.53	6.28	
Upland Forest/Woodland	26.53	26.55	116.10	
Silviculture	26.55	26.60	272.44	
Upland Open Land	26.60	26.61	43.66	
Silviculture	26.61	26.73	622.27	
Wetland	26.73	26.75	131.48	
Silviculture	26.75	26.90	769.25	
Commercial/Industrial	26.90	26.91	50.02	
Wetland	26.91	26.92	46.08	
Commercial/Industrial	26.92	27.06	776.48	
Wetland	27.06	27.07	25.28	
Commercial/Industrial	27.07	27.21	762.75	
Upland Open Land	27.21	27.37	806.81	
Wetland	27.37	27.38	64.69	
Upland Open Land	27.38	27.75	1954.65	
Wetland	27.75	27.82	402.80	
Upland Open Land	27.82	27.84	67.52	
Wetland	27.84	27.84	21.95	
Upland Open Land	27.84	27.86	111.74	
Wetland	27.86	27.88	86.73	
Upland Open Land	27.88	27.88	20.68	
Wetland	27.88	27.91	152.54	
Upland Open Land	27.91	27.93	89.02	
Wetland	27.93	27.94	61.16	
Upland Open Land	27.94	27.94	3.92	
Wetland	27.94	27.97	142.05	
Upland Open Land	27.97	27.98	44.57	
Upland Forest/Woodland	27.98	28.00	135.01	
Wetland	28.00	28.01	38.22	
Upland Forest/Woodland	28.01	28.02	80.44	
Upland Open Land	28.02	28.16	702.76	
Upland Forest/Woodland	28.16	28.17	84.43	



Table 8-A				
Land Use Crossed by Mi Land Use	lepost by the Amendme Entry MP	nt Project Pipeline Exit MP	Length (feet)	
Open Water	28.17	28.19	81.06	
Upland Forest/Woodland	28.19	28.19	8.46	
Open Water	28.19	28.20	33.67	
Upland Forest/Woodland	28.20	28.22	114.58	
Upland Open Land	28.22	28.27	289.16	
Upland Forest/Woodland	28.27	28.29	114.30	
Upland Open Land	28.29	28.79	2598.68	
Wetland	28.79	28.80	46.13	
Upland Open Land	28.80	28.97	921.49	
Wetland	28.97	28.98	27.80	
Upland Open Land	28.98	29.00	102.96	
Upland Forest/Woodland	29.00	29.01	101.03	
Wetland	29.01	29.02	18.16	
Upland Forest/Woodland	29.02	29.03	60.71	
Wetland	29.03	29.05	86.14	
Upland Forest/Woodland	29.05	29.07	145.56	
Upland Forest/Woodland	29.07	29.20	678.23	
Upland Forest/Woodland	29.20	29.21	35.61	
Upland Forest/Woodland	29.21	29.24	186.62	
Upland Forest/Woodland	29.24	29.26	88.36	
Upland Forest/Woodland	29.26	29.32	323.77	
Wetland	29.32	29.32	12.92	
Upland Forest/Woodland	29.32	29.32	2.98	
Wetland	29.32	29.33	3.61	
Upland Forest/Woodland	29.33	29.35	135.41	
Upland Forest/Woodland	29.35	29.36	66.00	
Upland Forest/Woodland	29.36	29.49	643.26	
Upland Forest/Woodland	29.49	29.51	113.14	
Upland Forest/Woodland	29.51	29.55	226.05	
Silviculture	29.55	29.77	1147.48	
Wetland	29.77	29.77	19.41	
Upland Forest/Woodland	29.77	29.77	21.69	
Silviculture	29.77	29.81	170.15	
Upland Forest/Woodland	29.81	29.81	27.39	
Silviculture	29.81	29.86	244.42	
Commercial/Industrial	29.86	29.86	22.46	
Upland Forest/Woodland	29.86	30.01	790.59	
Upland Forest/Woodland	30.01	30.05	196.11	
Upland Forest/Woodland	30.05	30.21	834.35	
Upland Open Land	30.21	30.24	146.54	
Upland Forest/Woodland	30.24	30.30	322.46	
Agriculture	30.30	30.37	375.29	
Wetland	30.37	30.56	1032.27	
Agriculture	30.56	30.75	1013.80	
Open Water	30.75	30.80	221.14	



Table 8-A  Land Use Crossed by Milepost by the Amendment Project Pipeline					
Agriculture	30.80	30.96	870.20		
Wetland	30.96	30.97	57.75		
Agriculture	30.97	30.97	7.03		
Wetland	30.97	30.98	15.31		
Agriculture	30.98	31.04	312.40		
Wetland	31.04	31.04	5.52		
Agriculture	31.04	31.12	417.19		
Wetland	31.12	31.18	343.45		
Commercial/Industrial	31.18	31.19	36.70		
Upland Open Land	31.19	31.25	353.09		
Commercial/Industrial	31.25	31.26	42.52		
Wetland	31.26	31.29	162.64		
Commercial/Industrial	31.29	31.31	59.79		
Upland Open Land	31.31	31.32	94.62		
Upland Forest/Woodland	31.32	31.33	24.37		
Upland Open Land	31.33	31.34	85.42		
Commercial/Industrial	31.34	31.36	92.00		



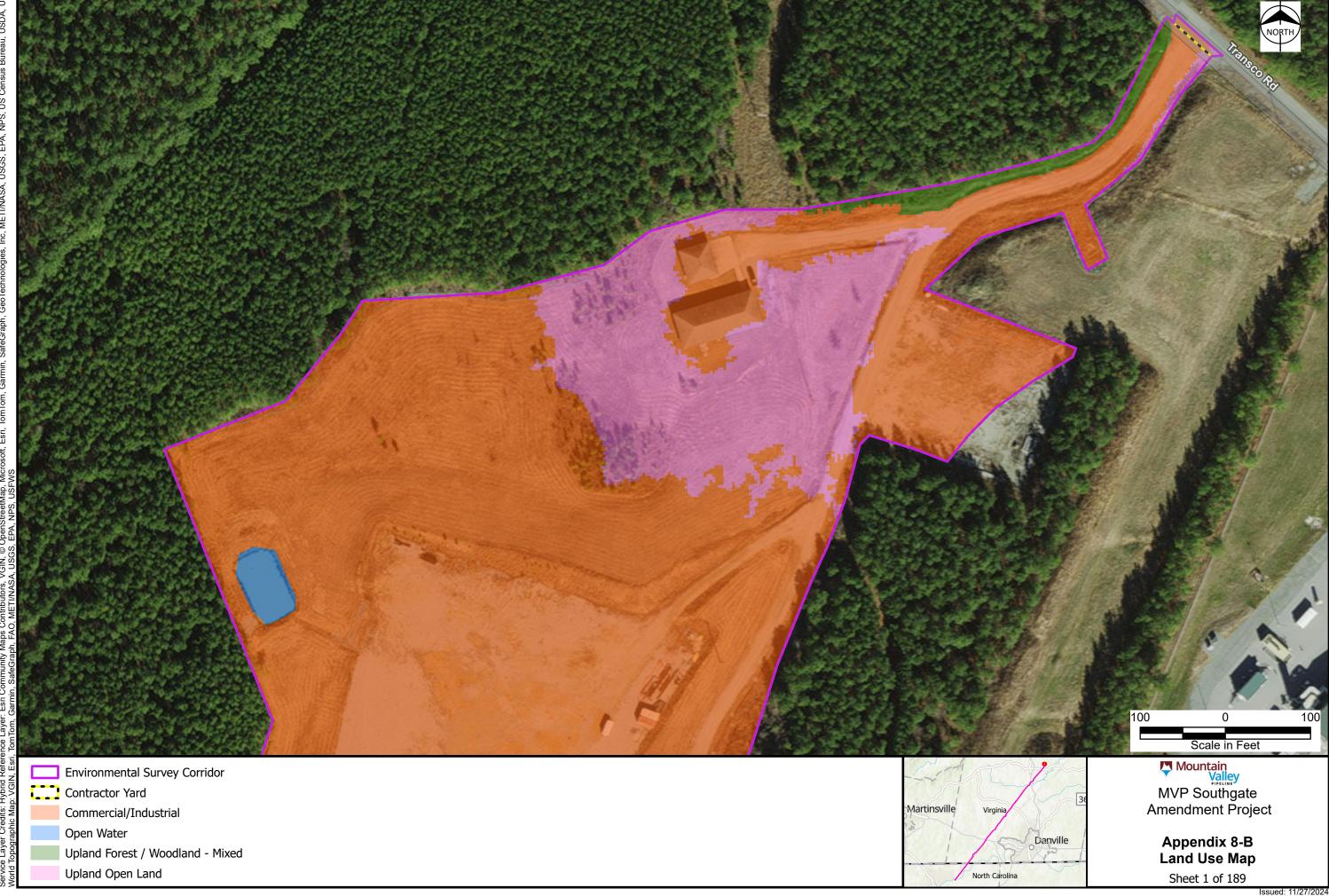
## **MVP Southgate Amendment Project**

Docket No. CP25-XX-000

**Resource Report 8** 

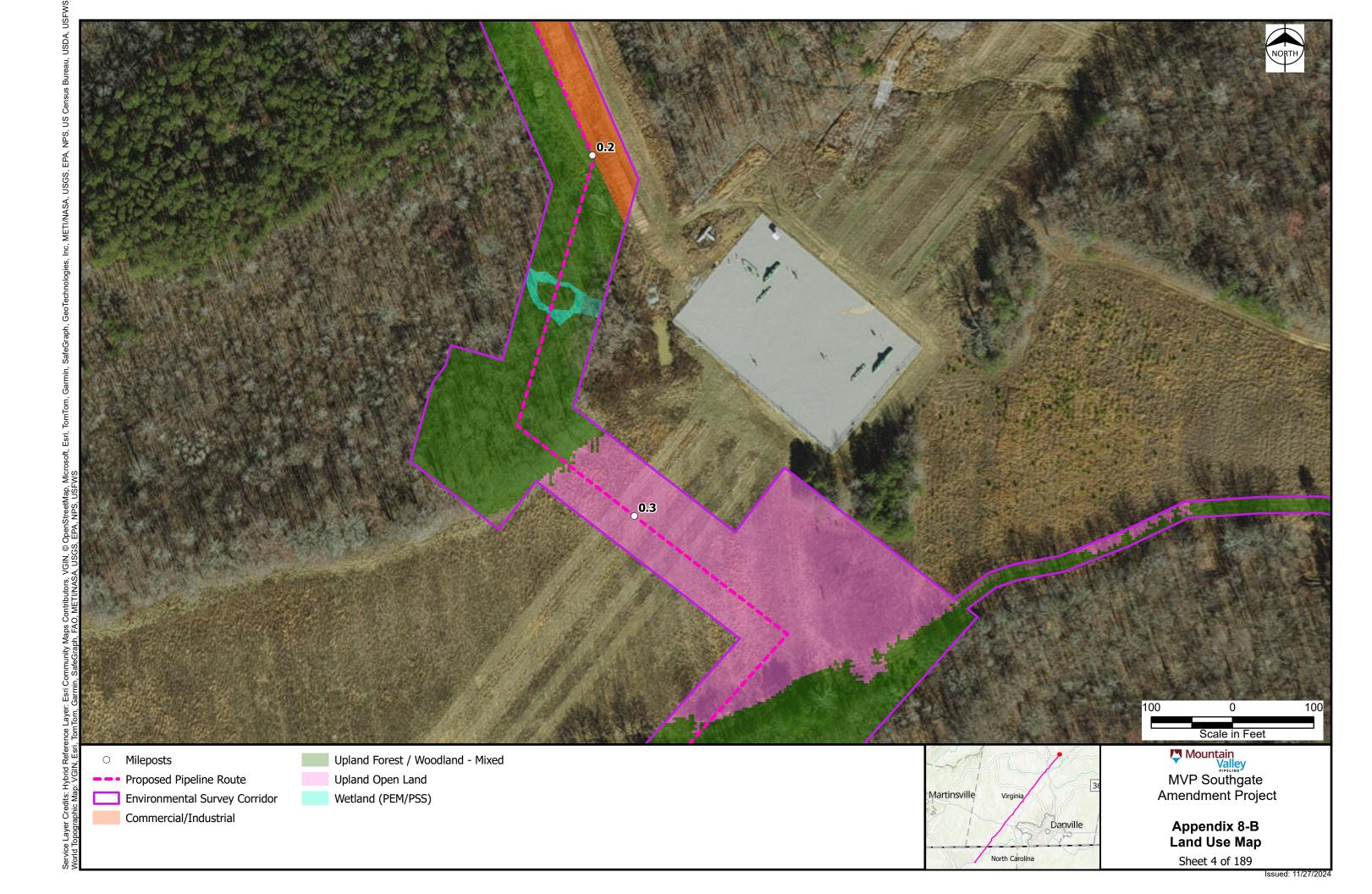
Appendix 8-B

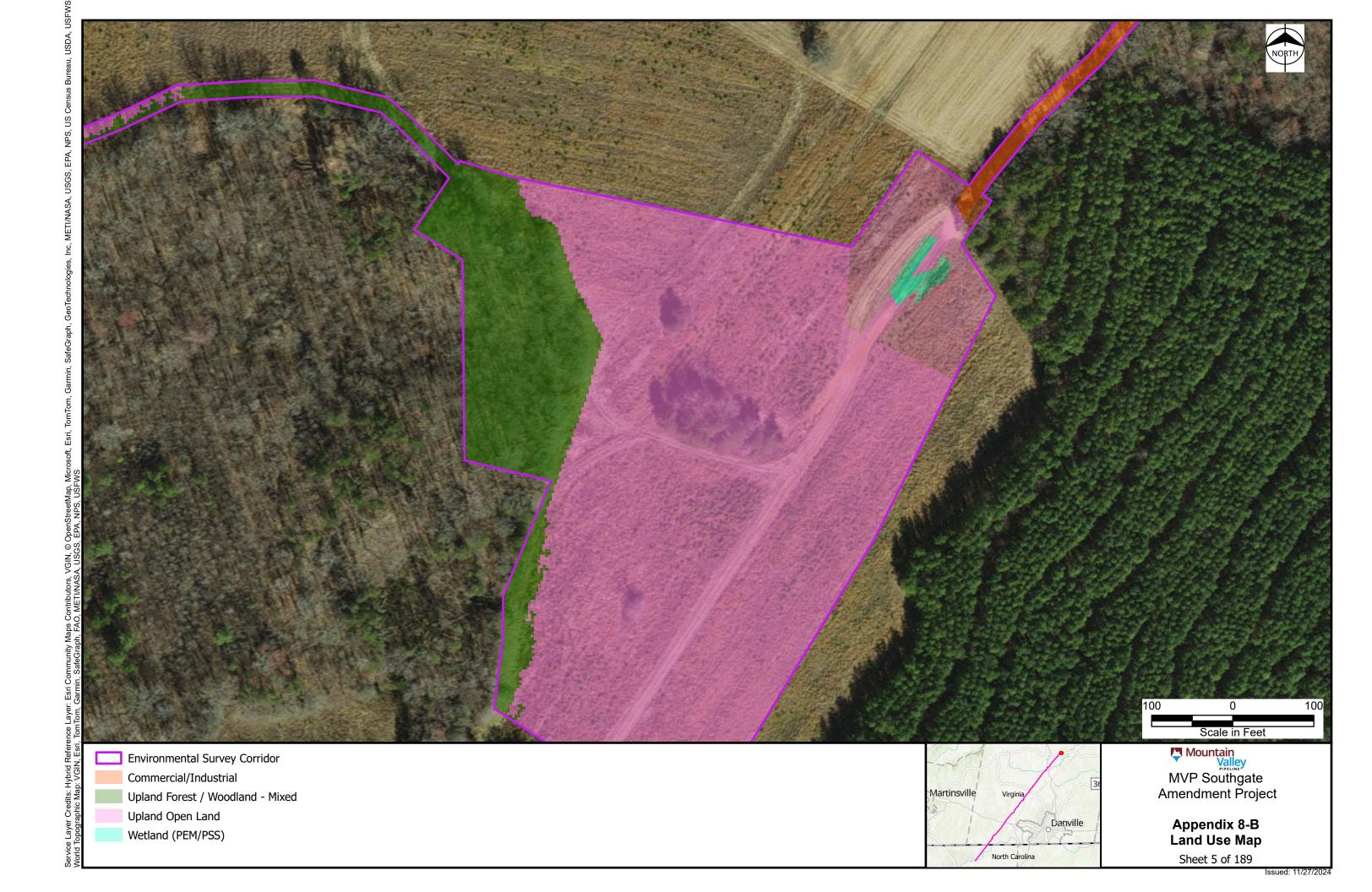
**Land Use Mapping for the Amendment Project** 







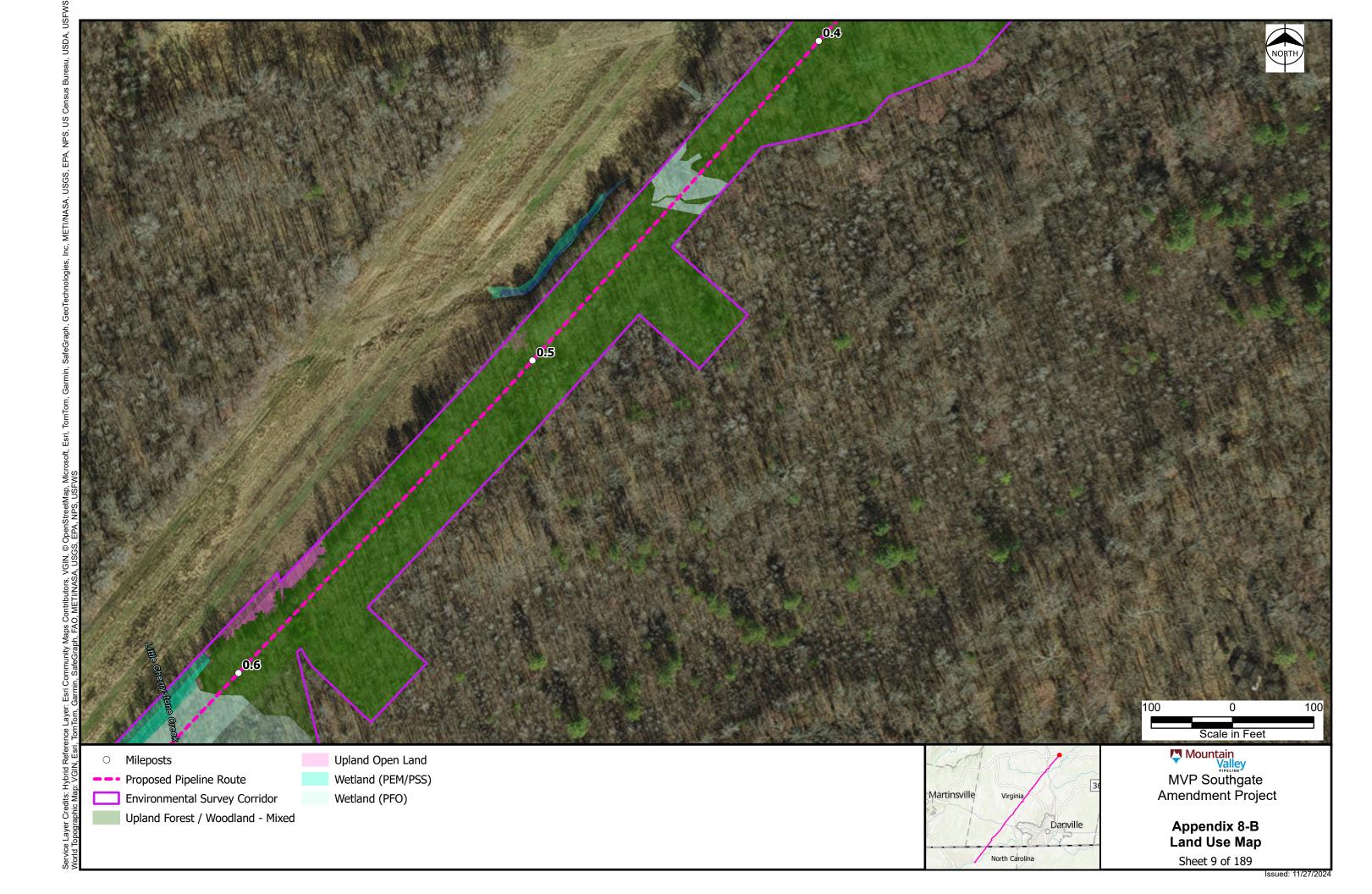


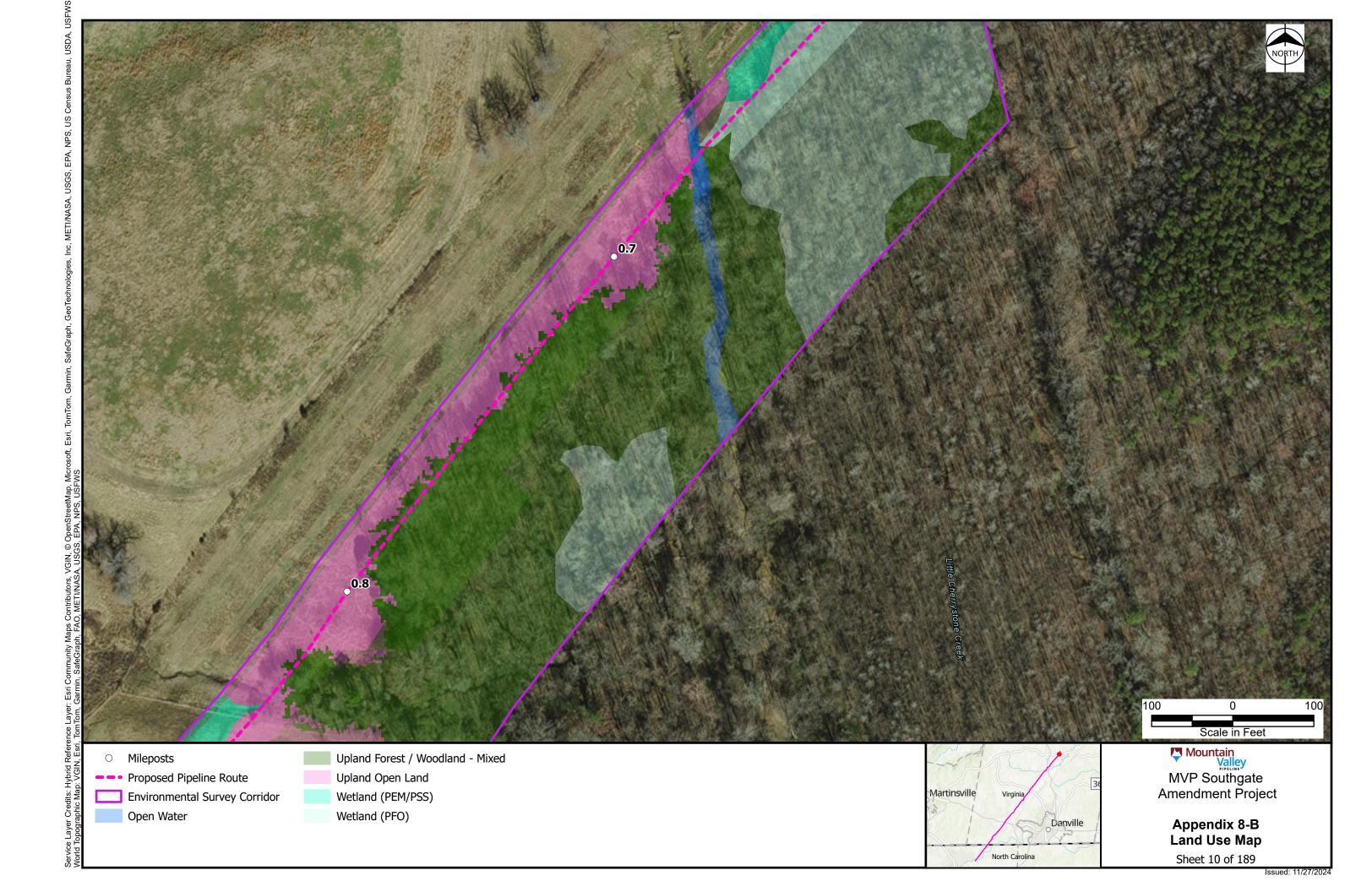


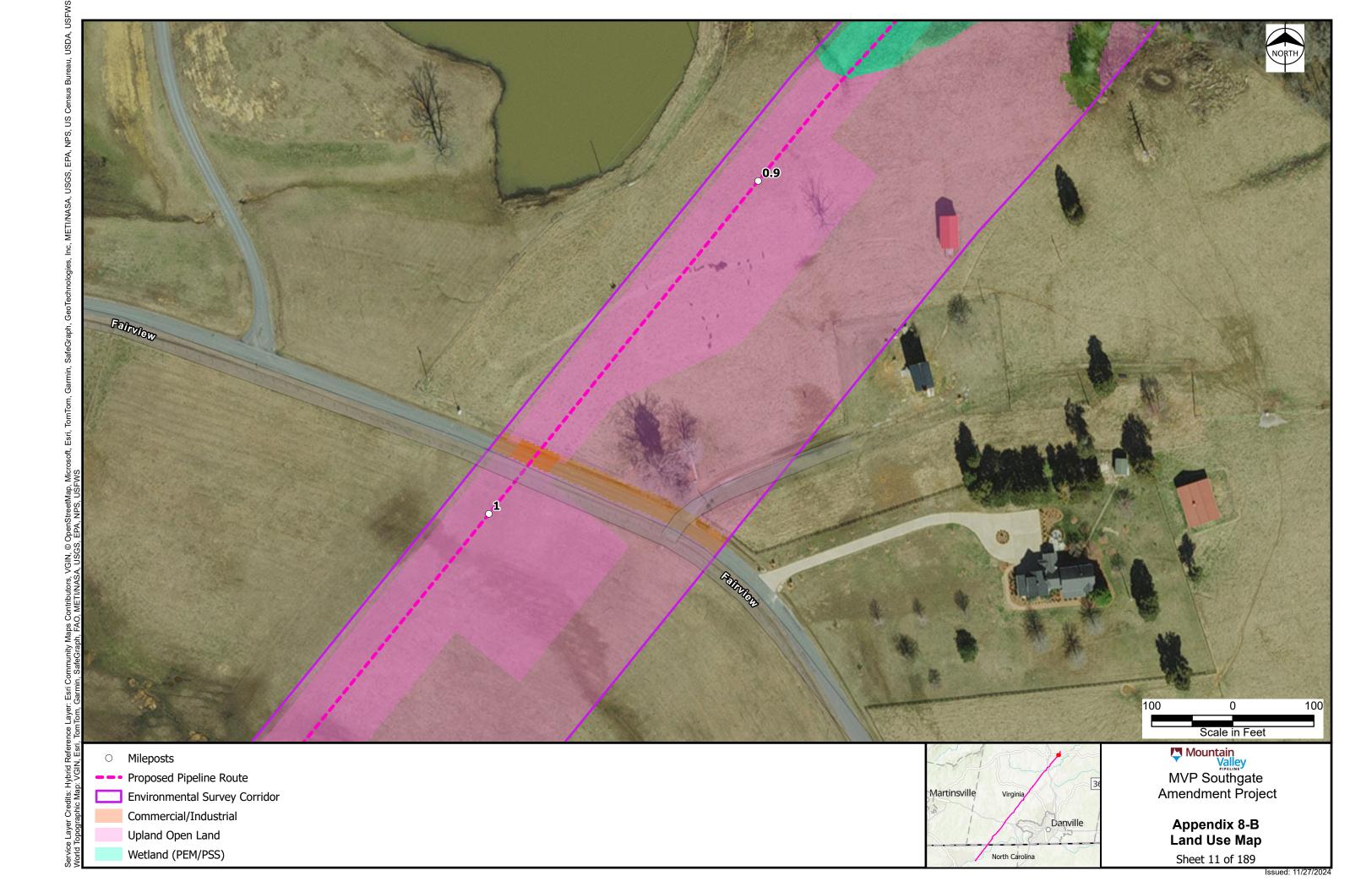


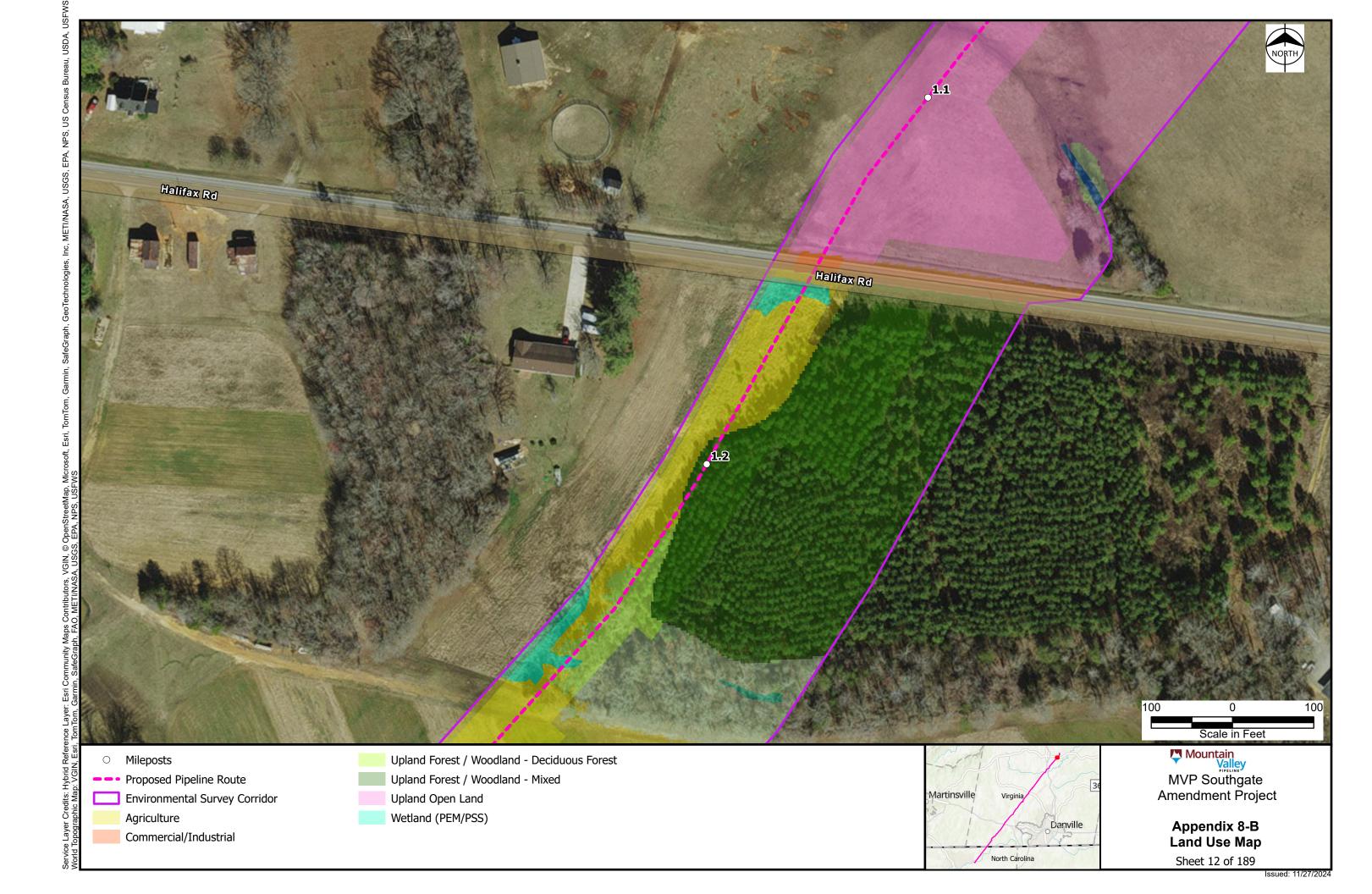


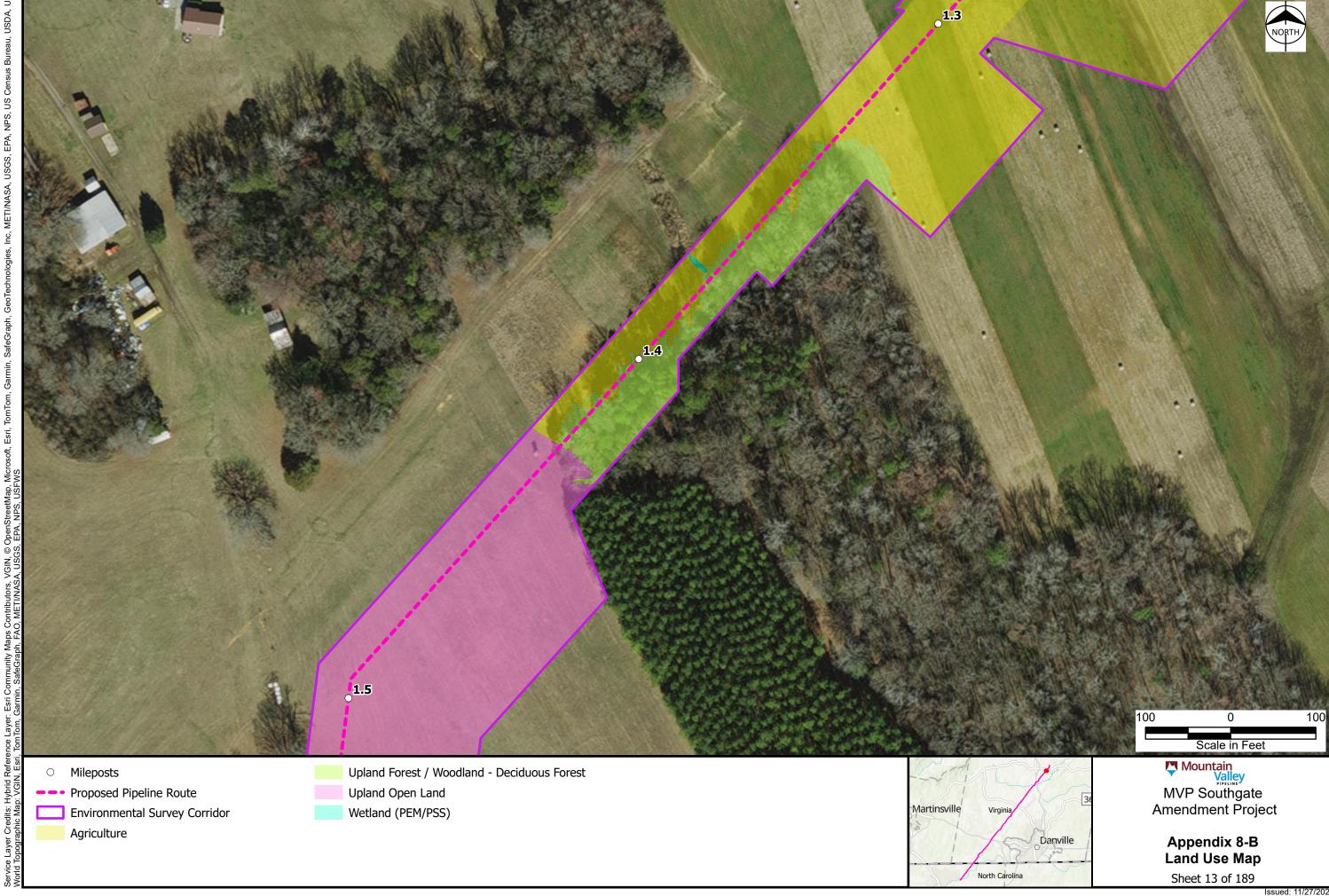


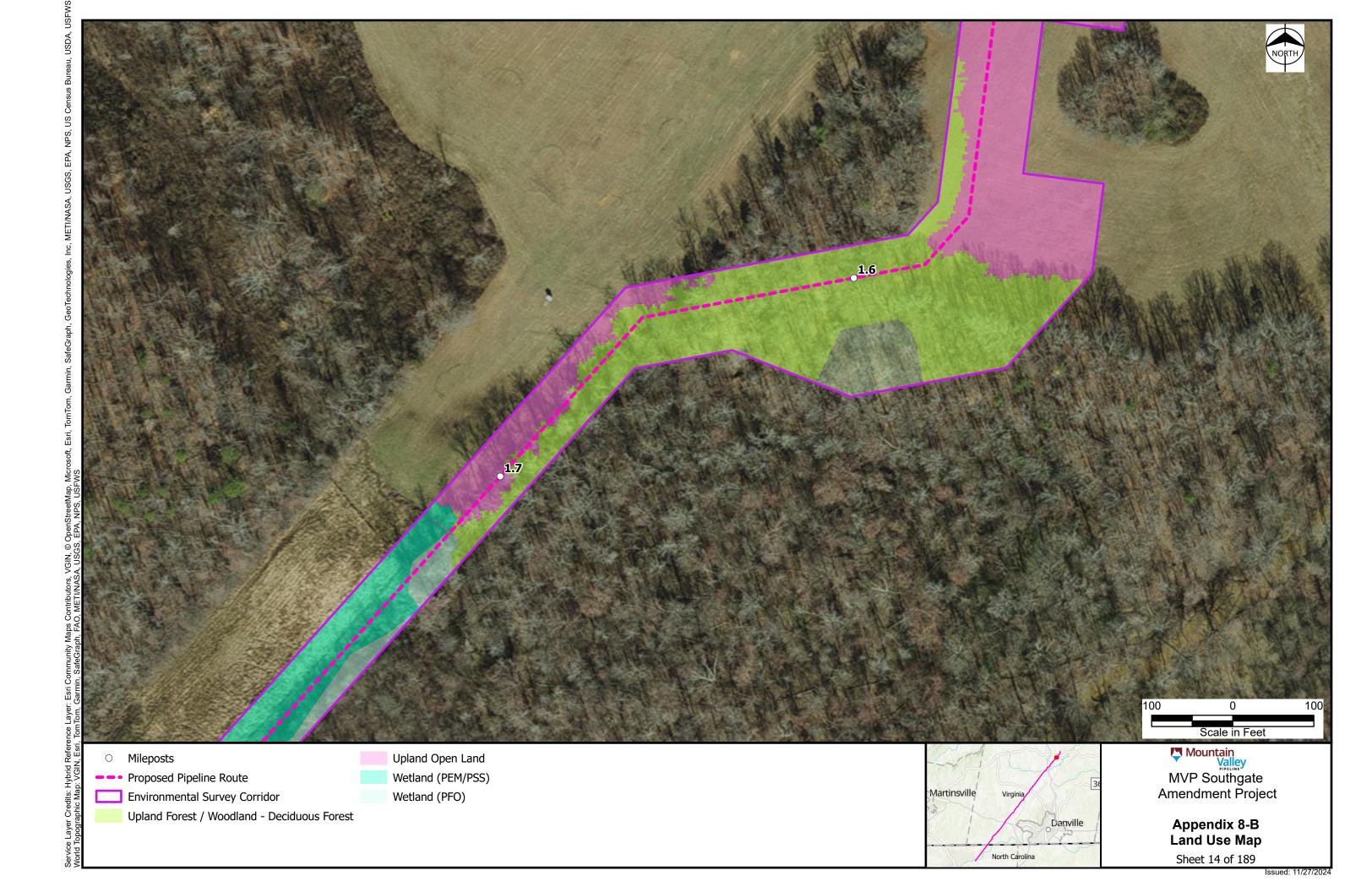




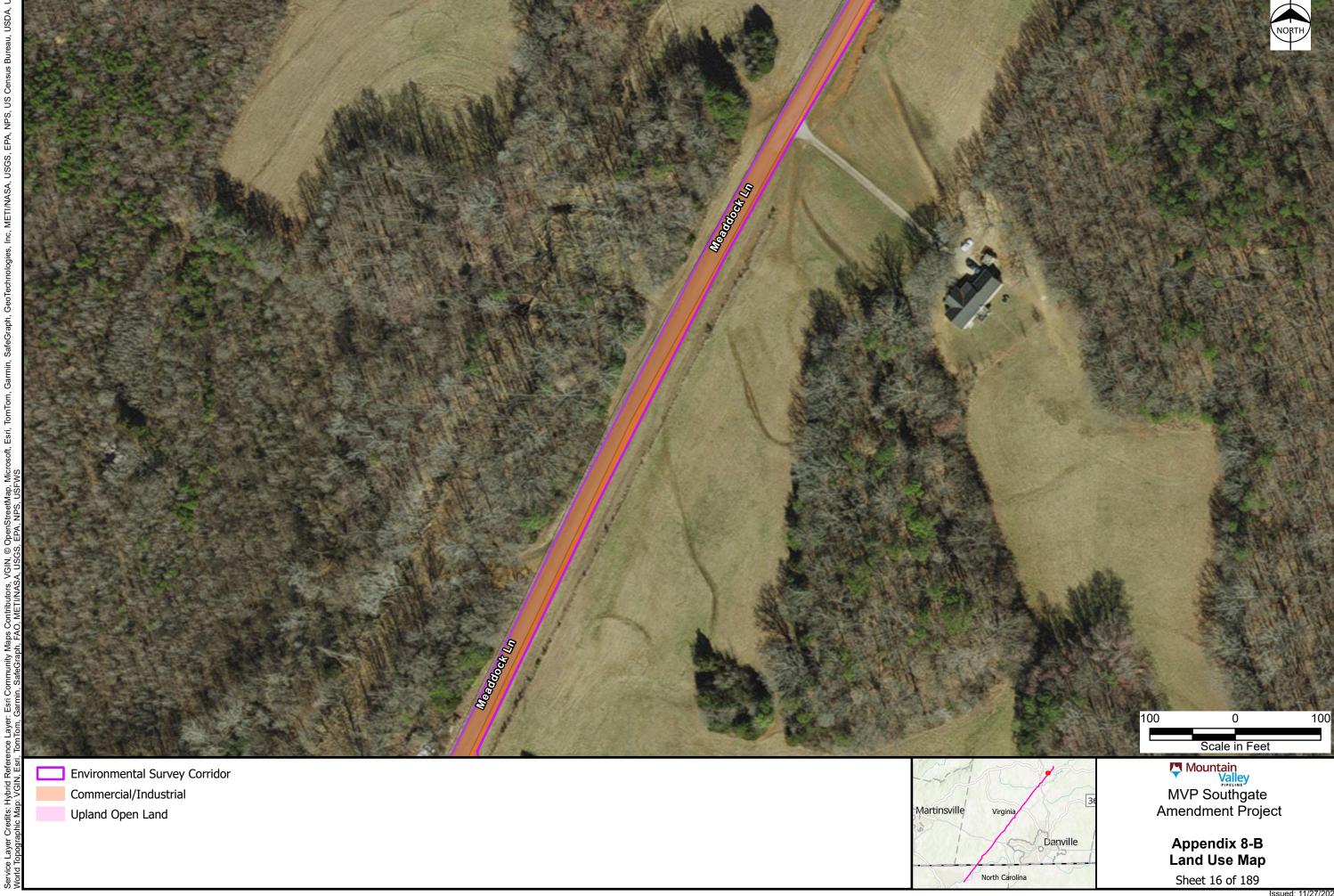


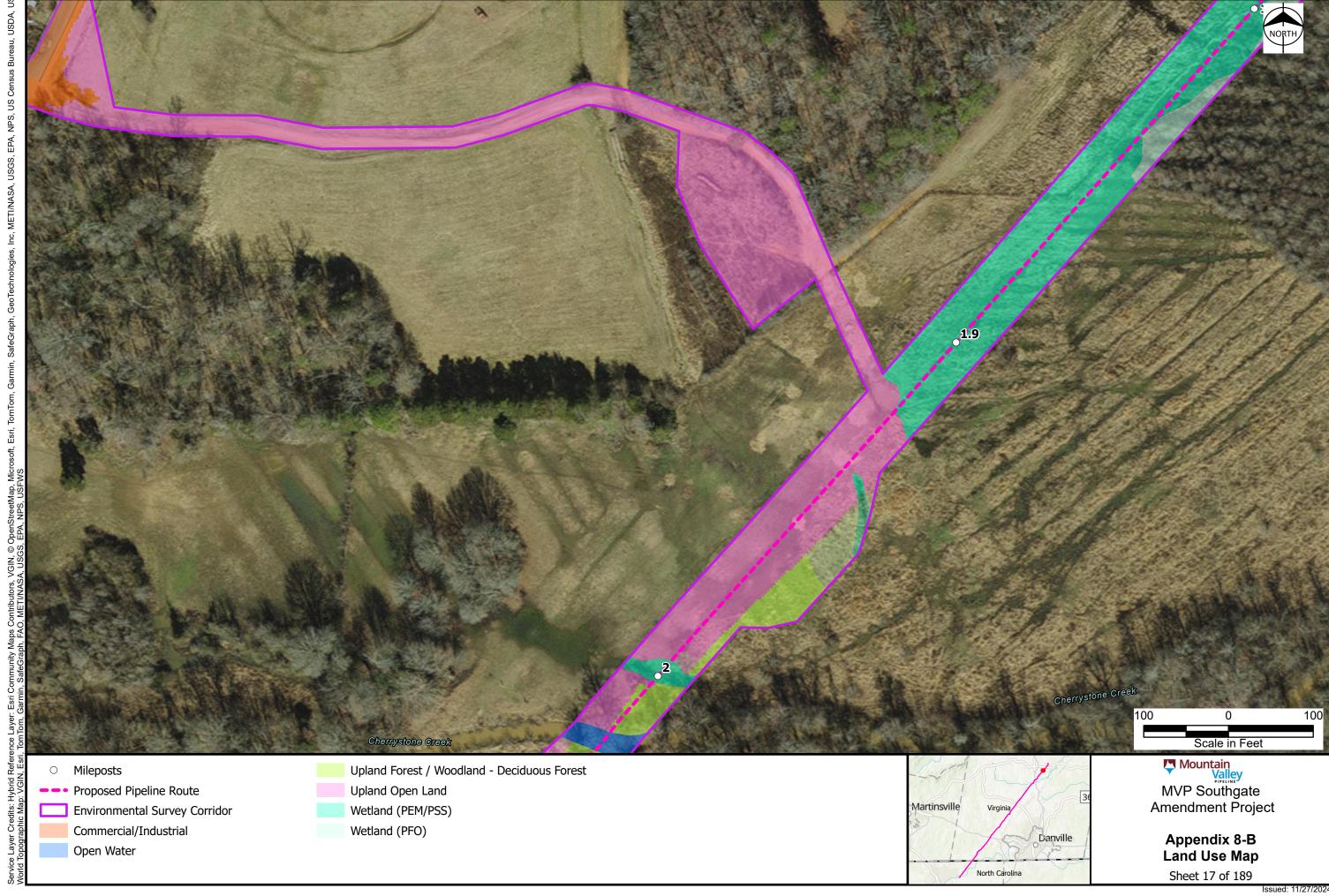




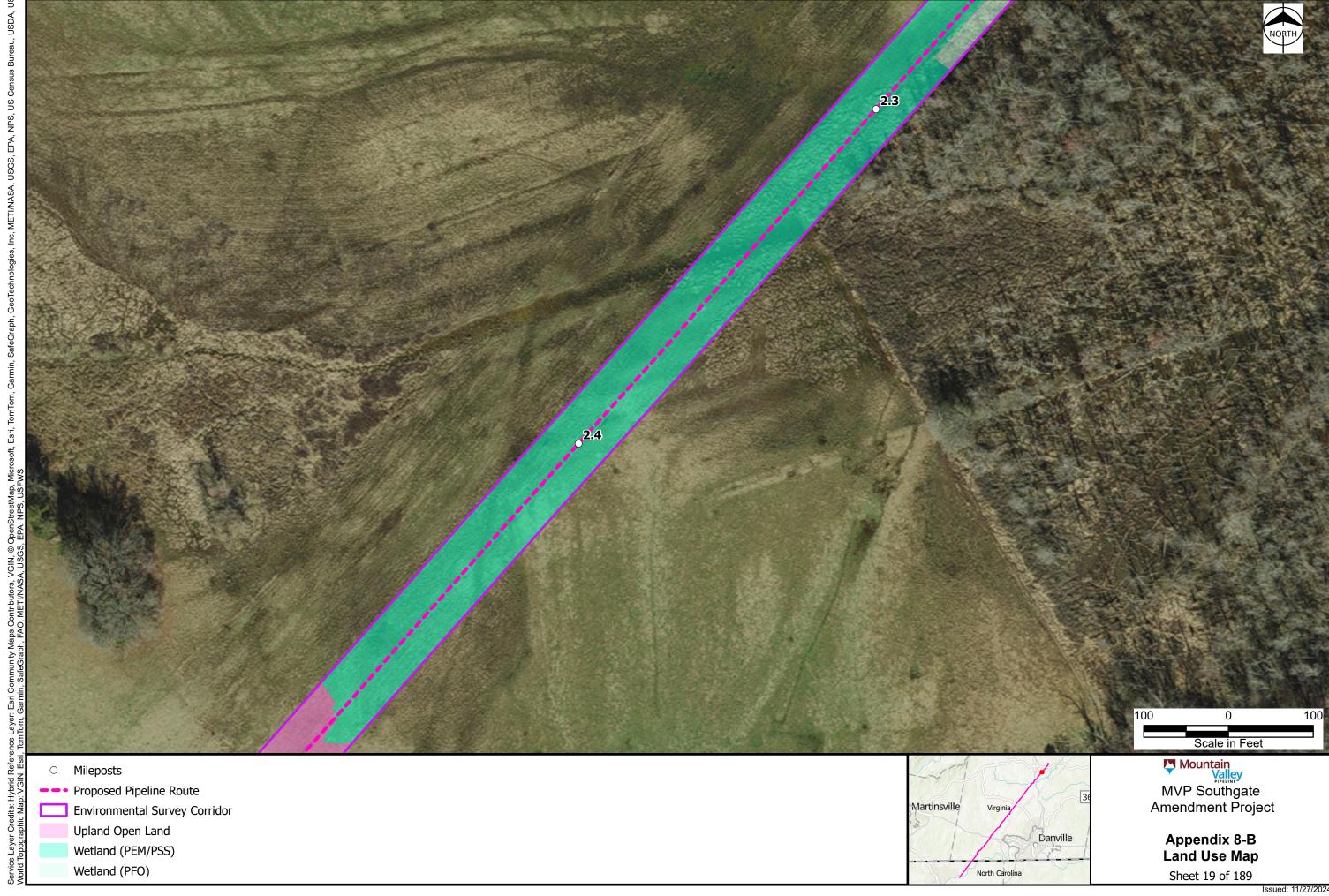


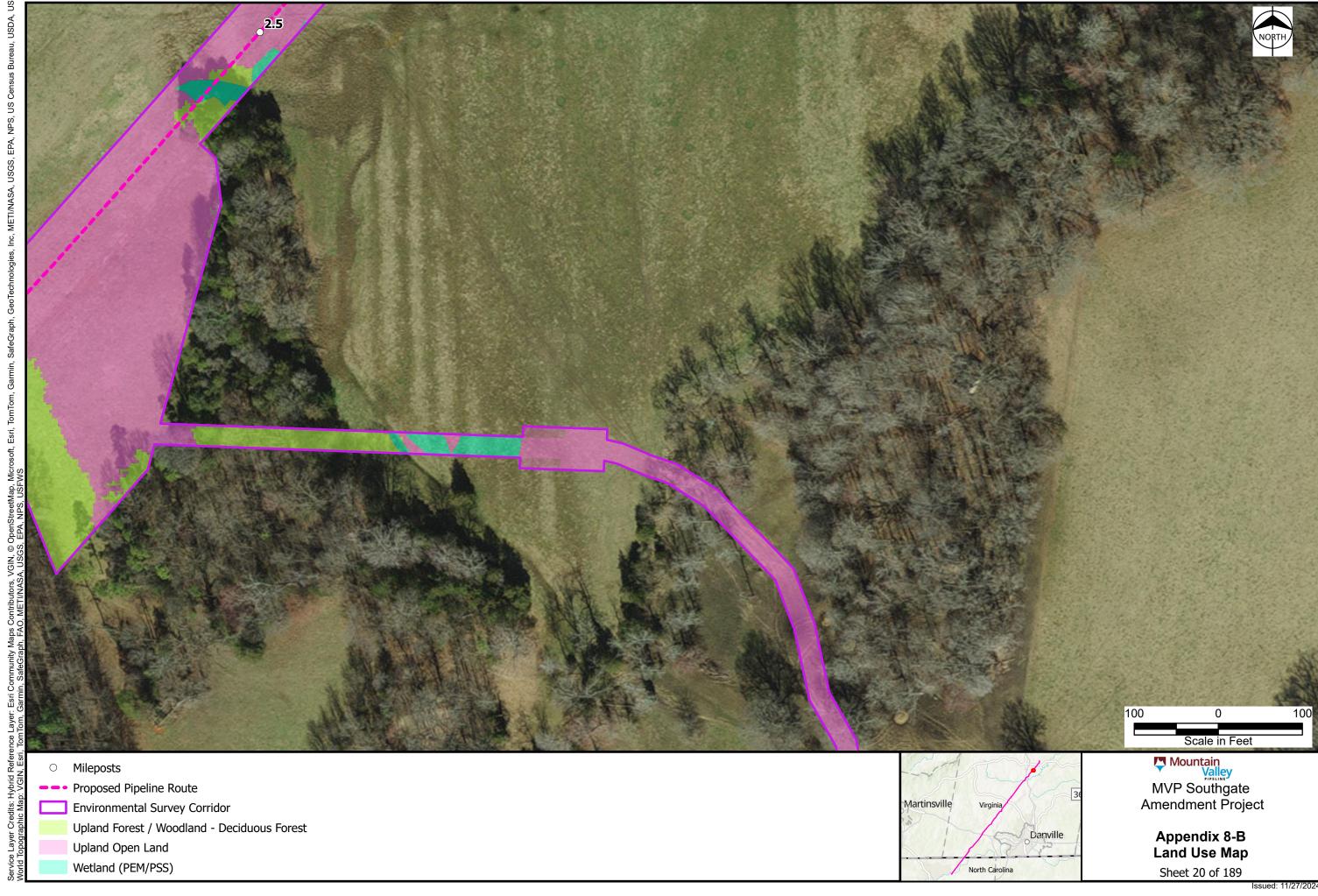








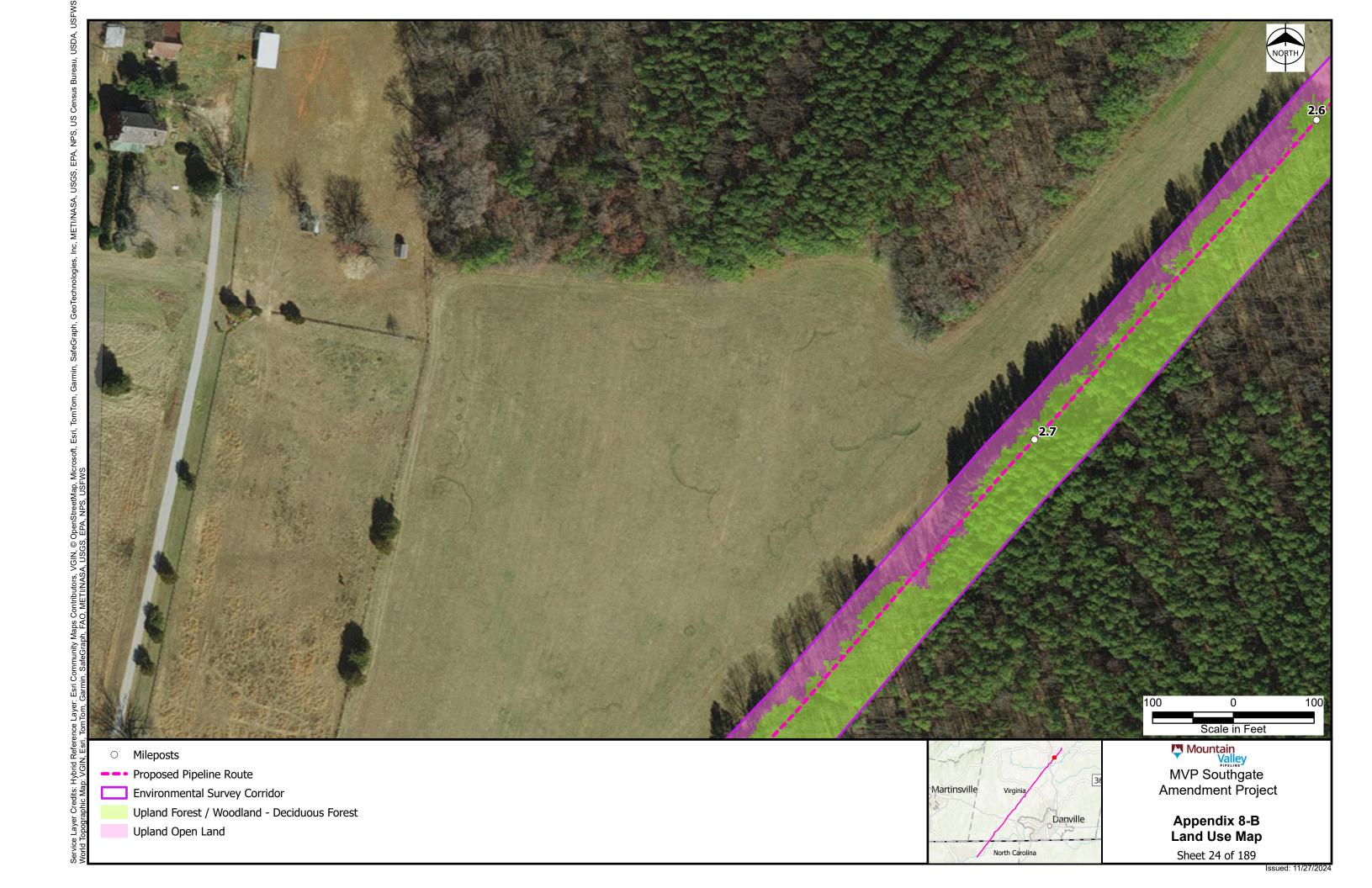


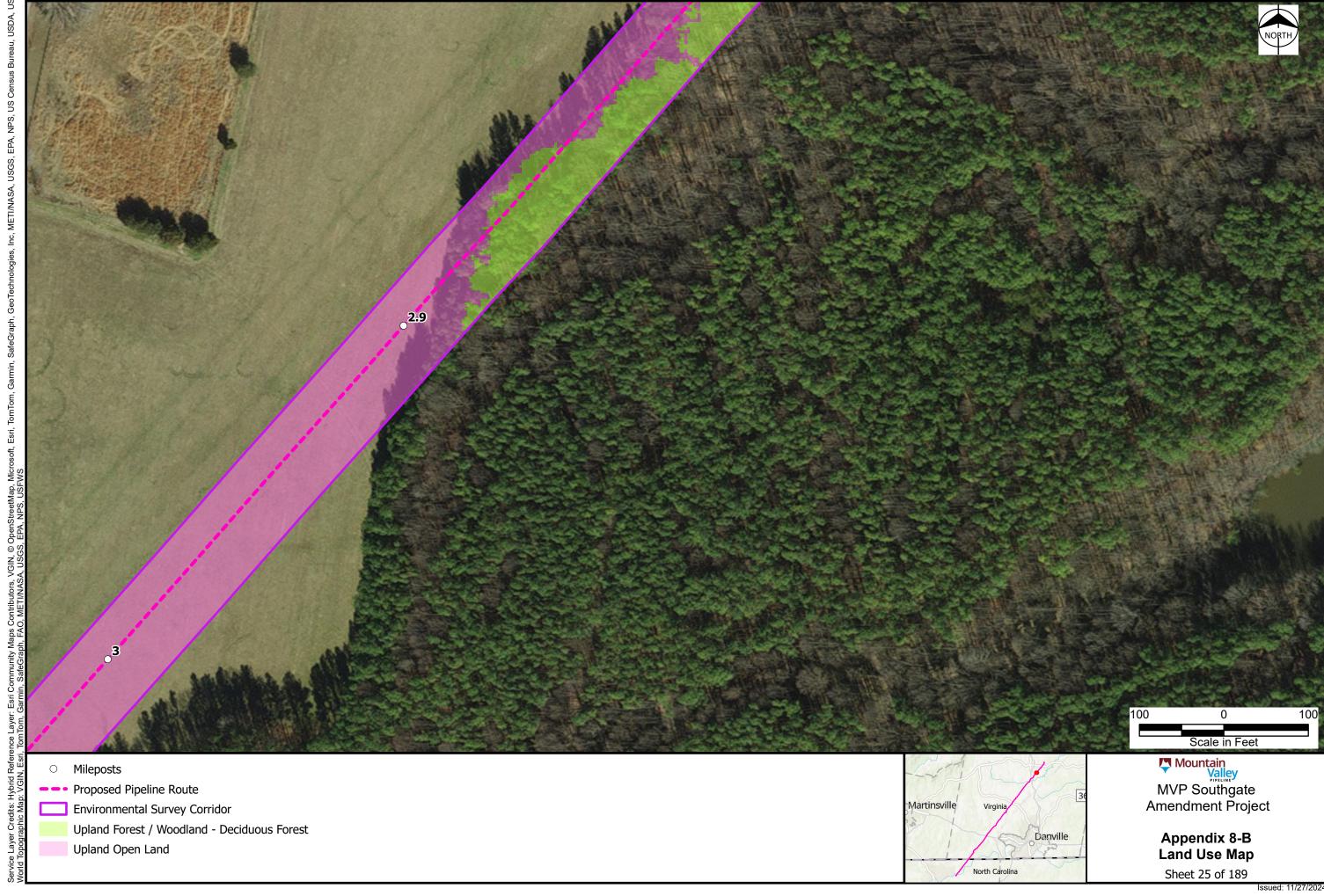




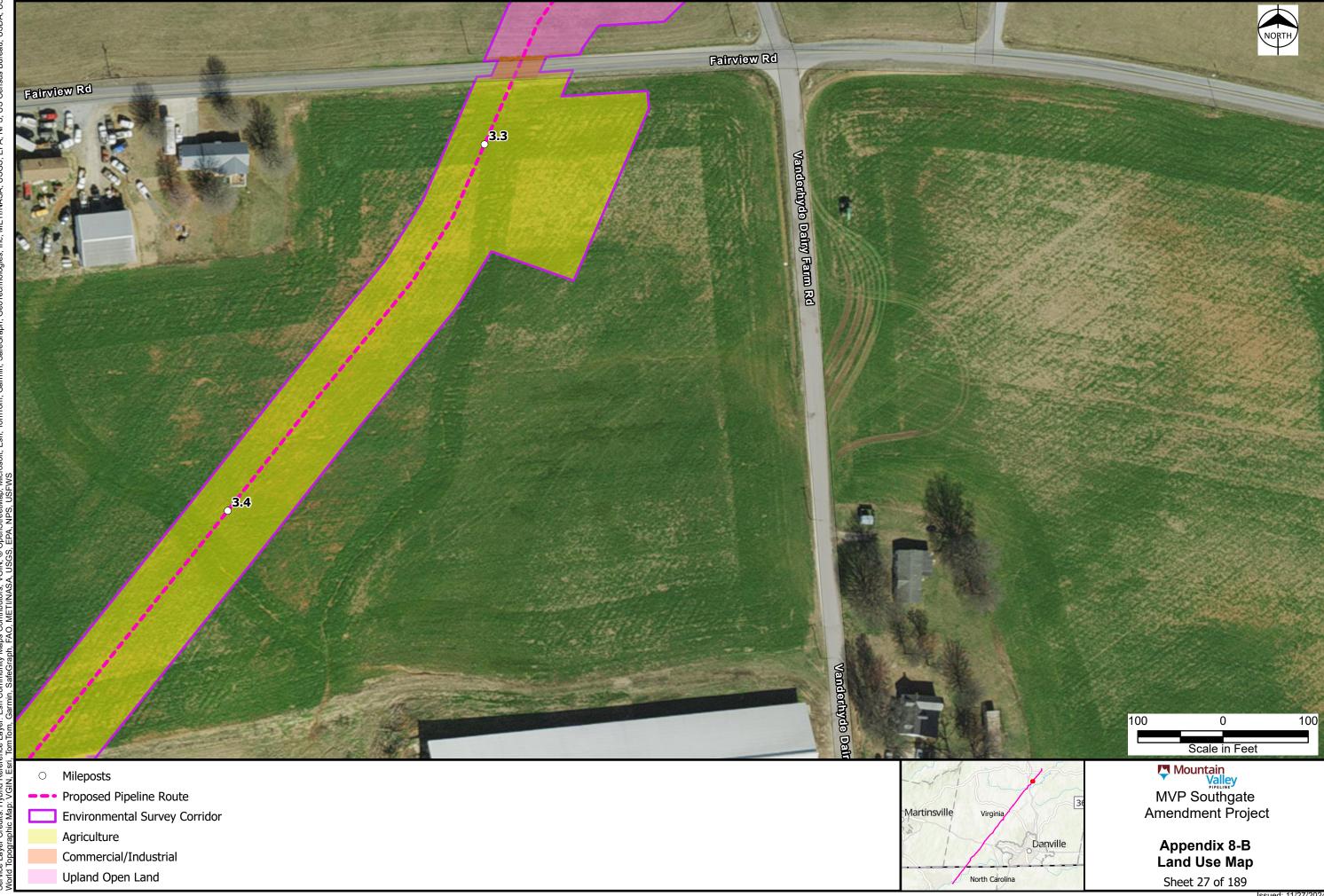


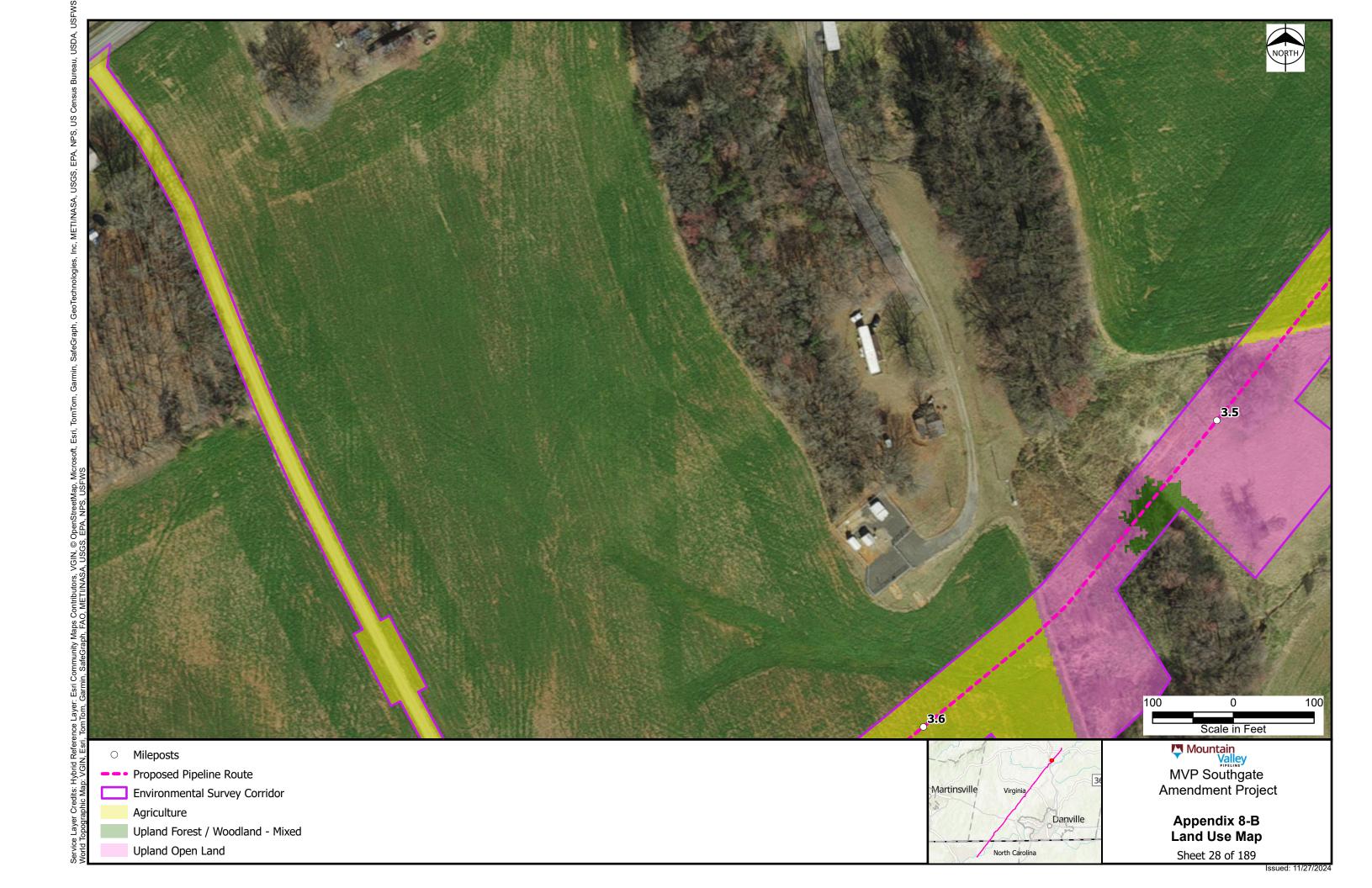


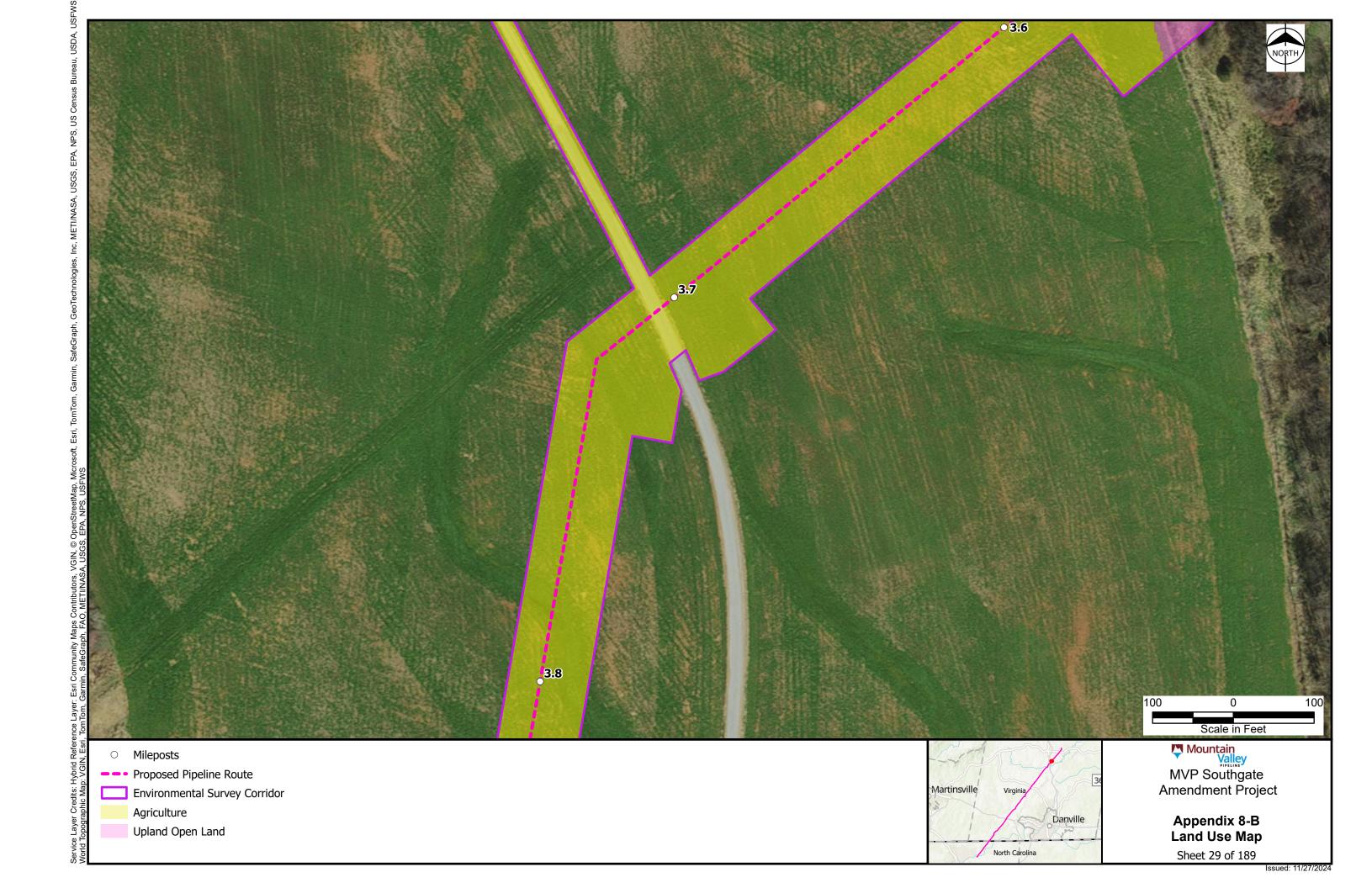


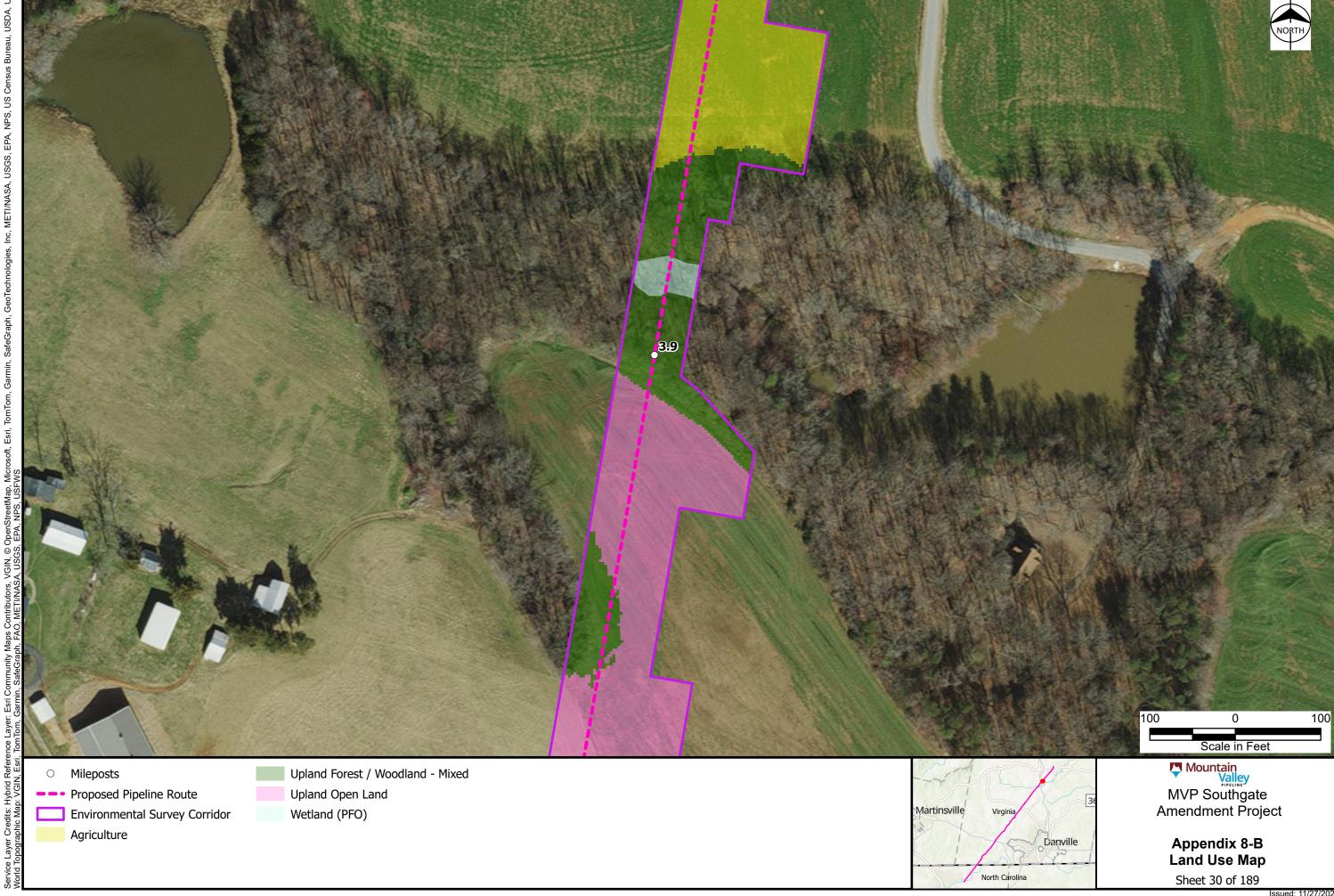


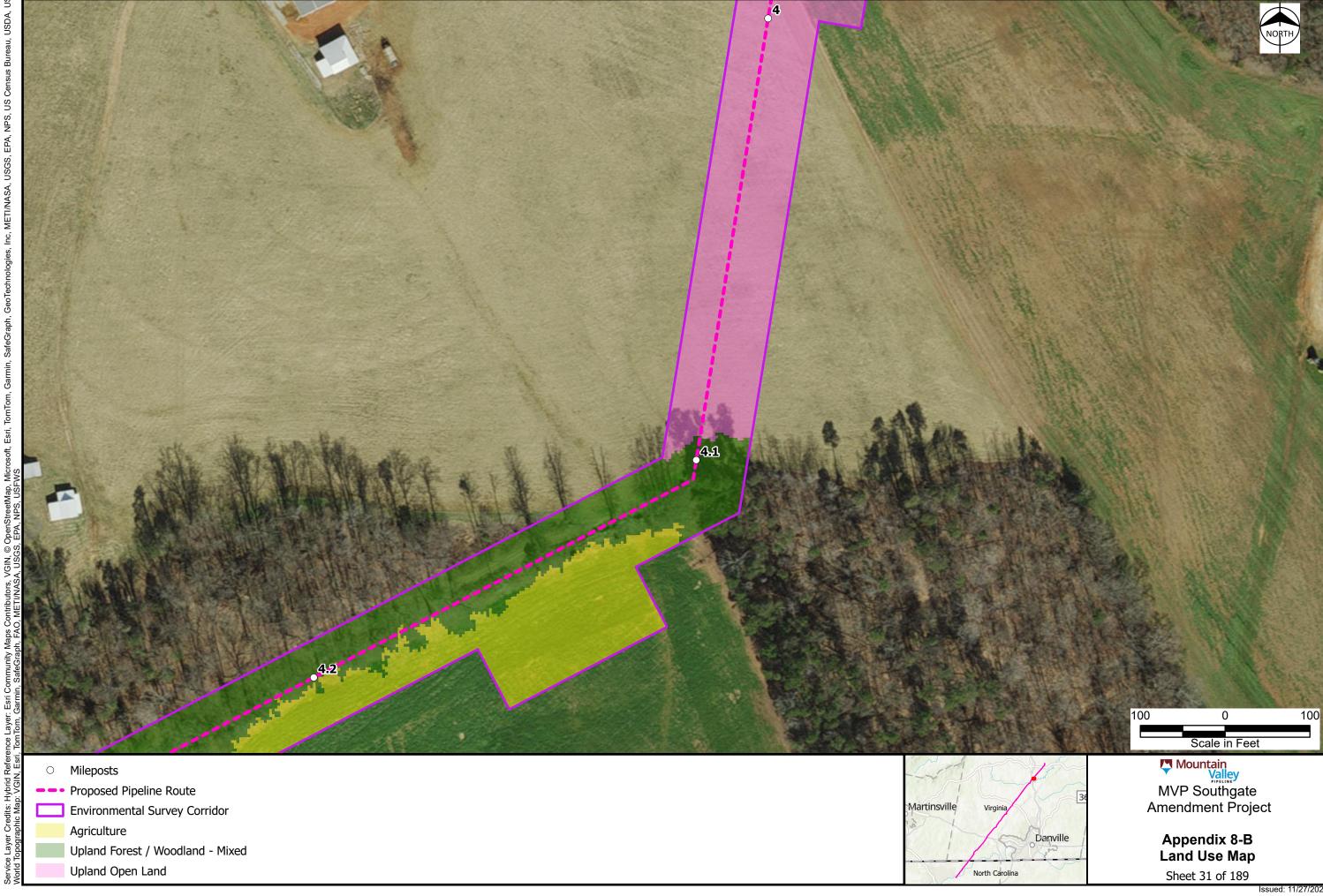




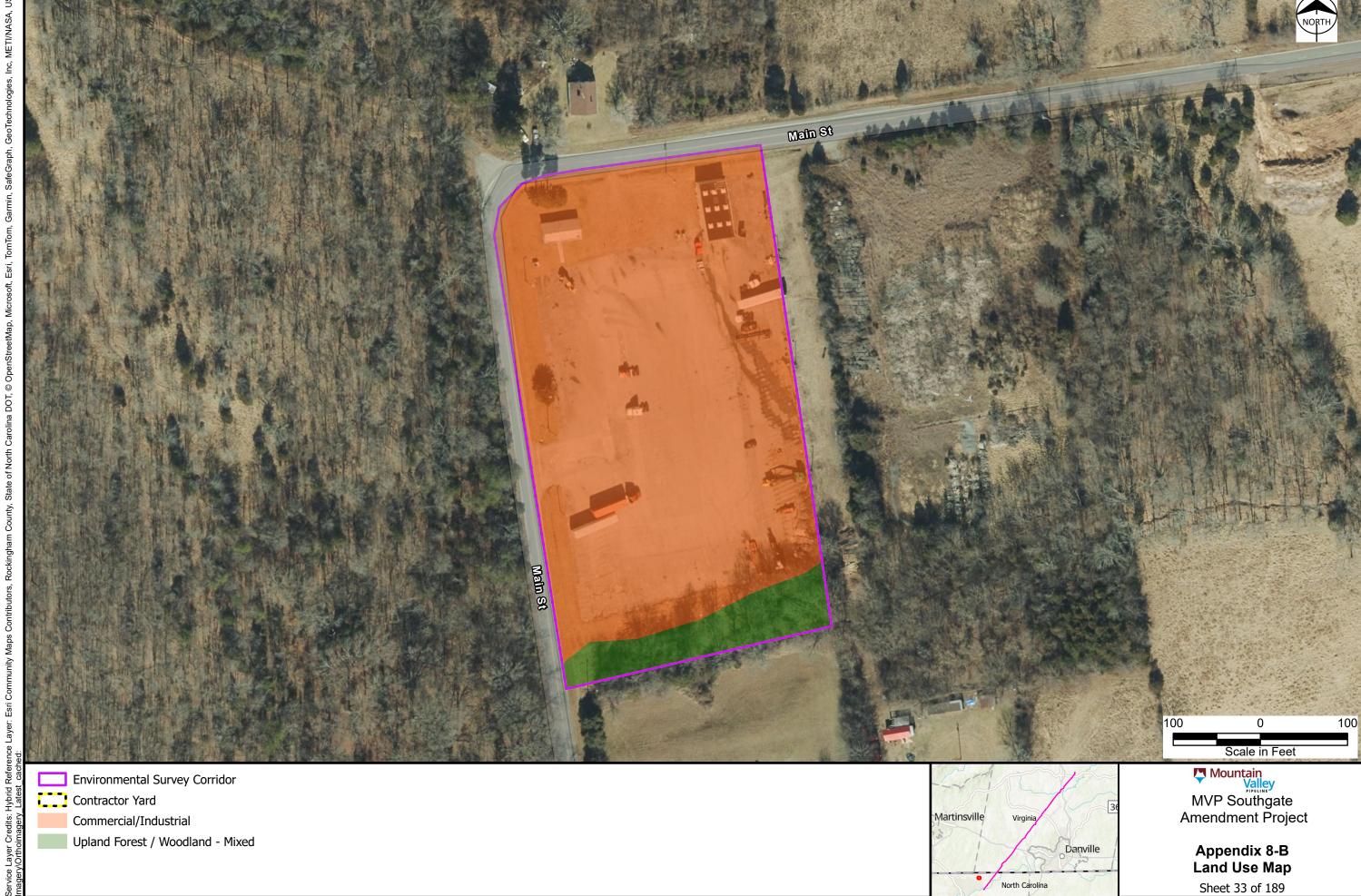




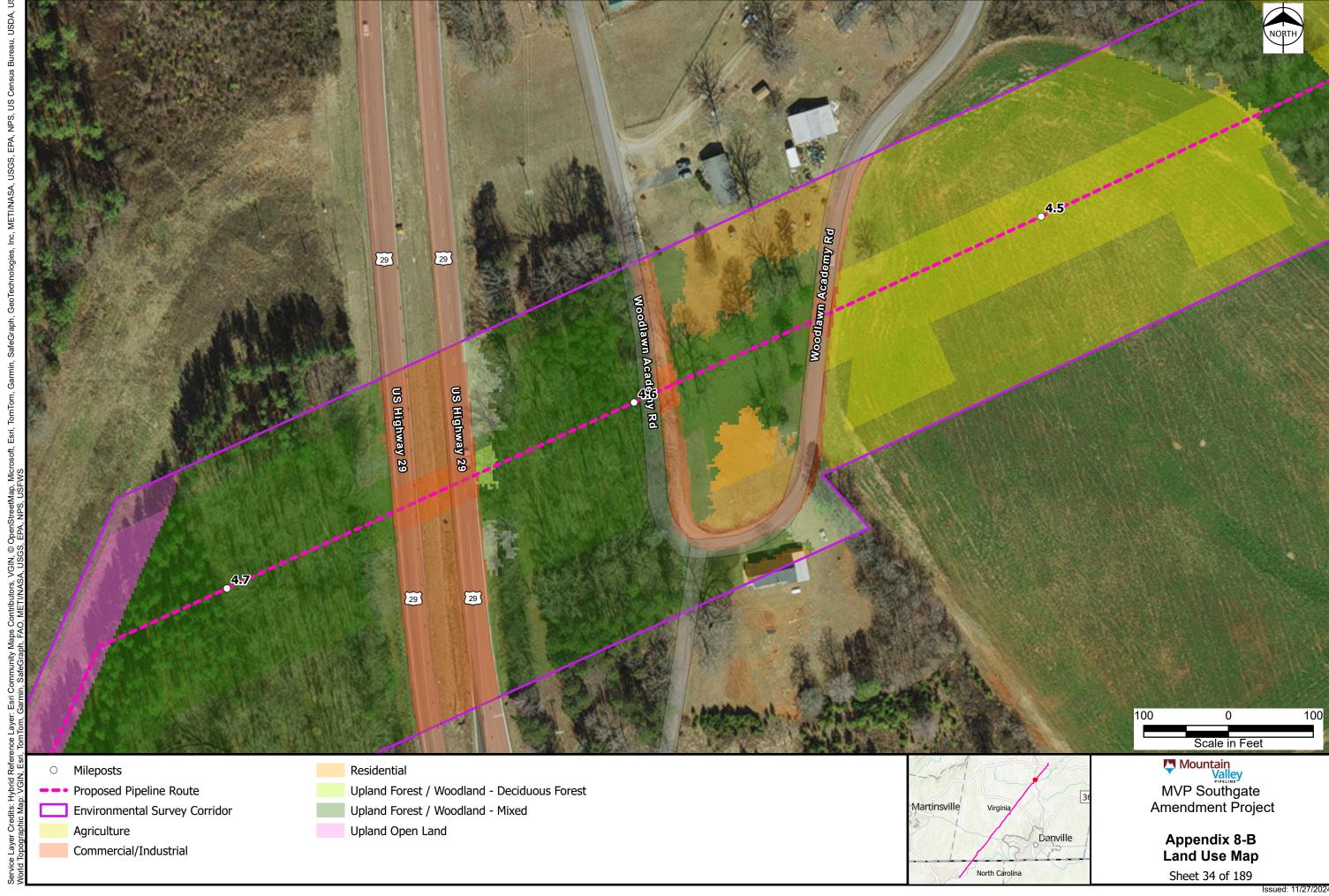


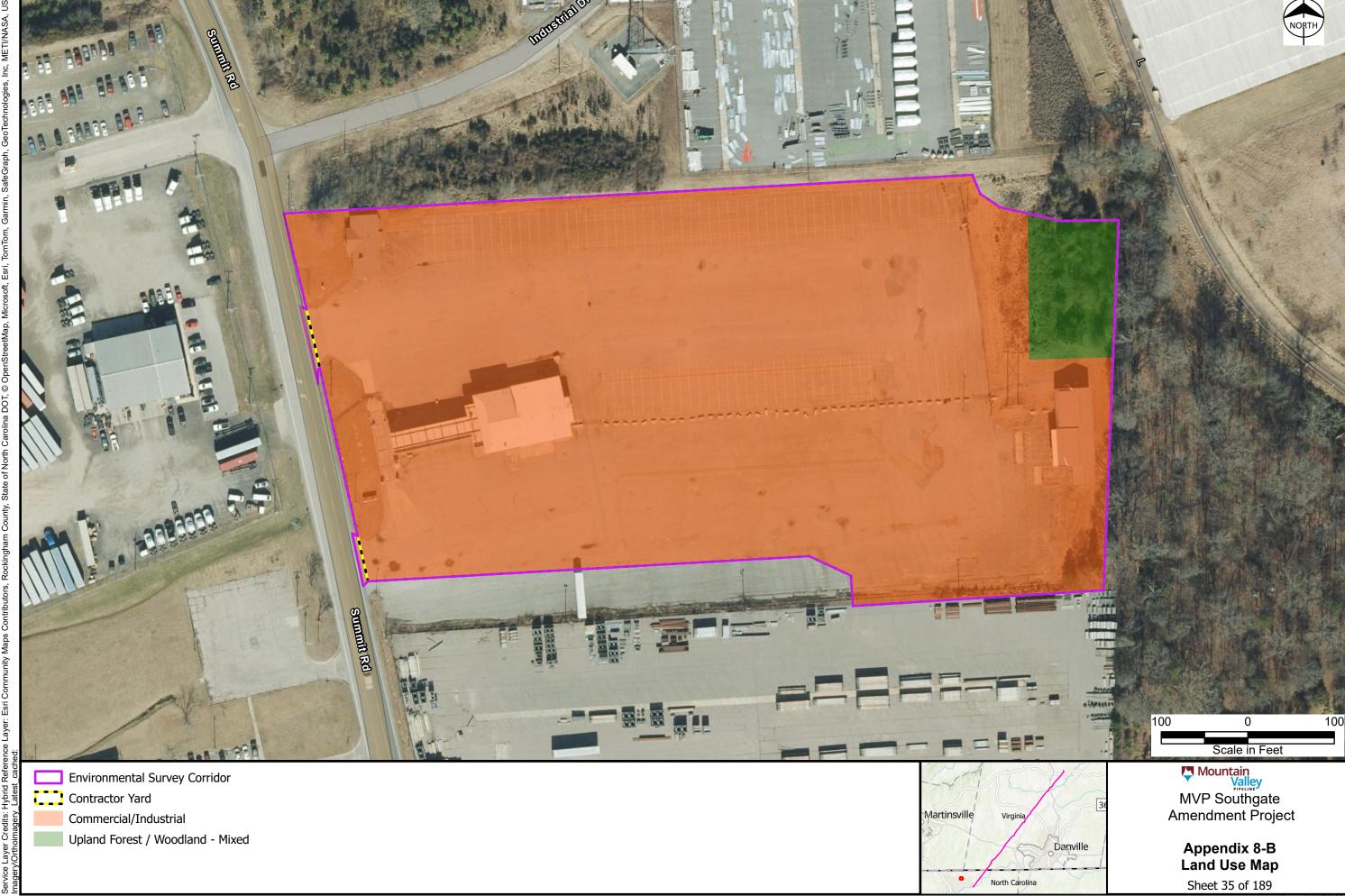






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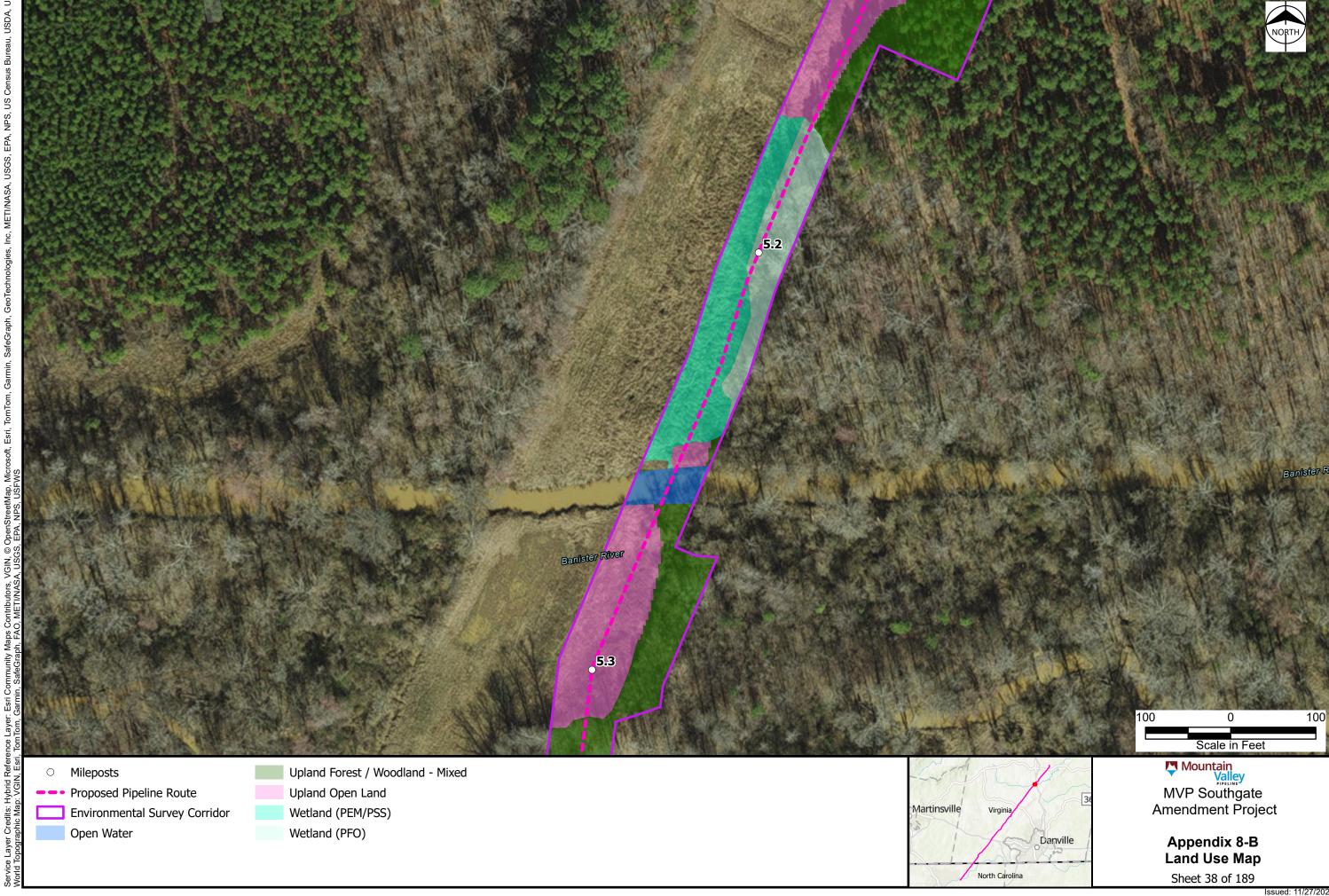


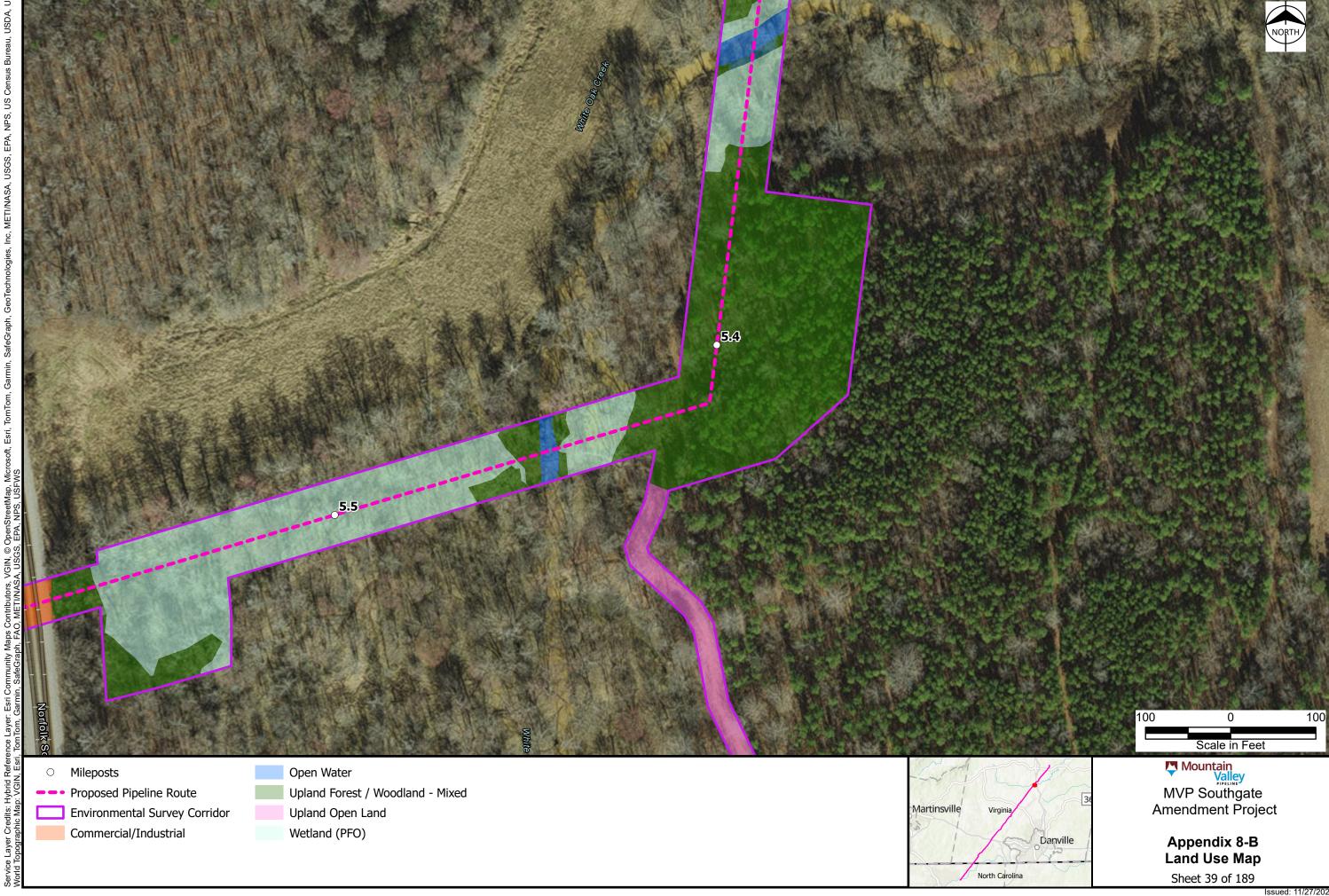


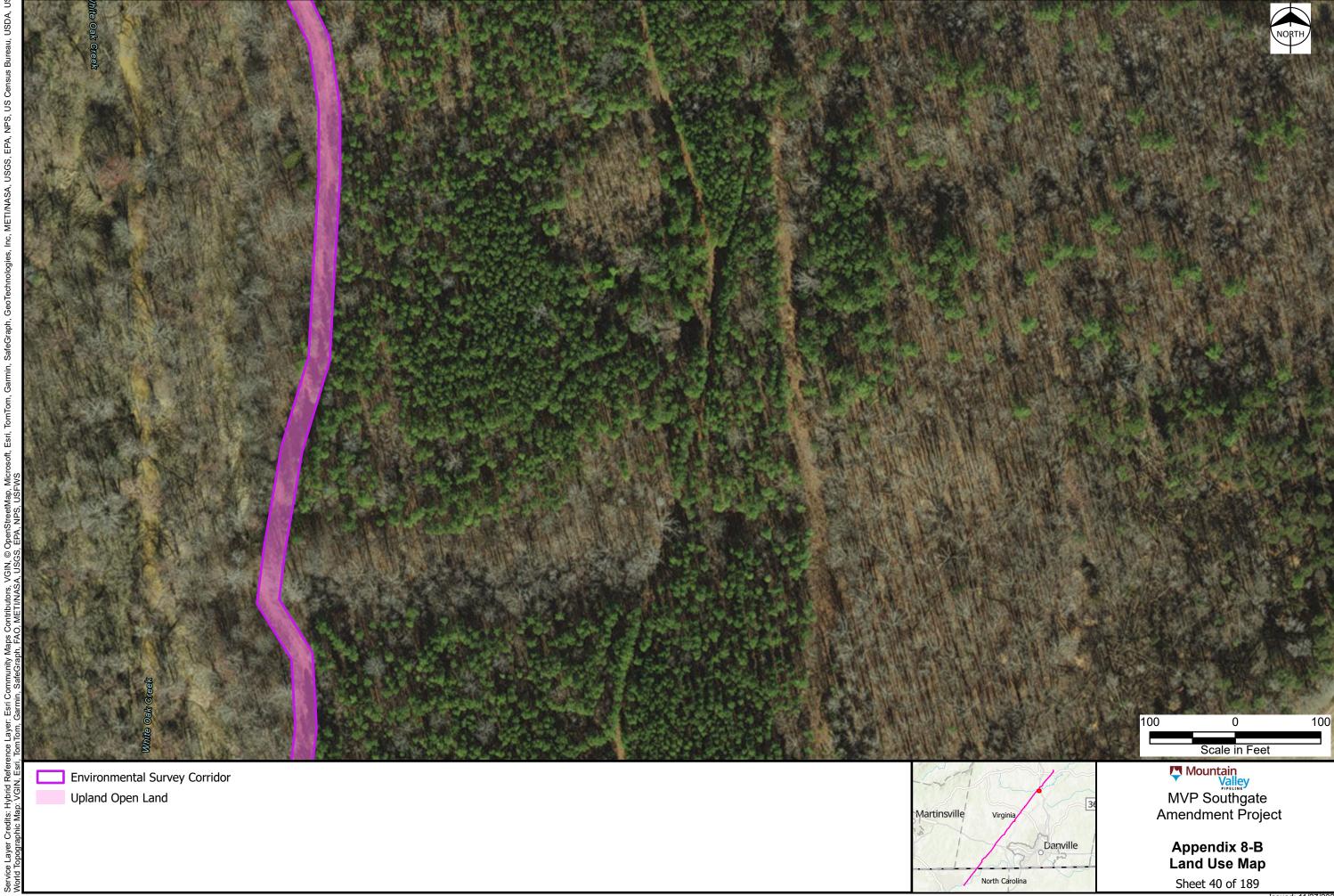
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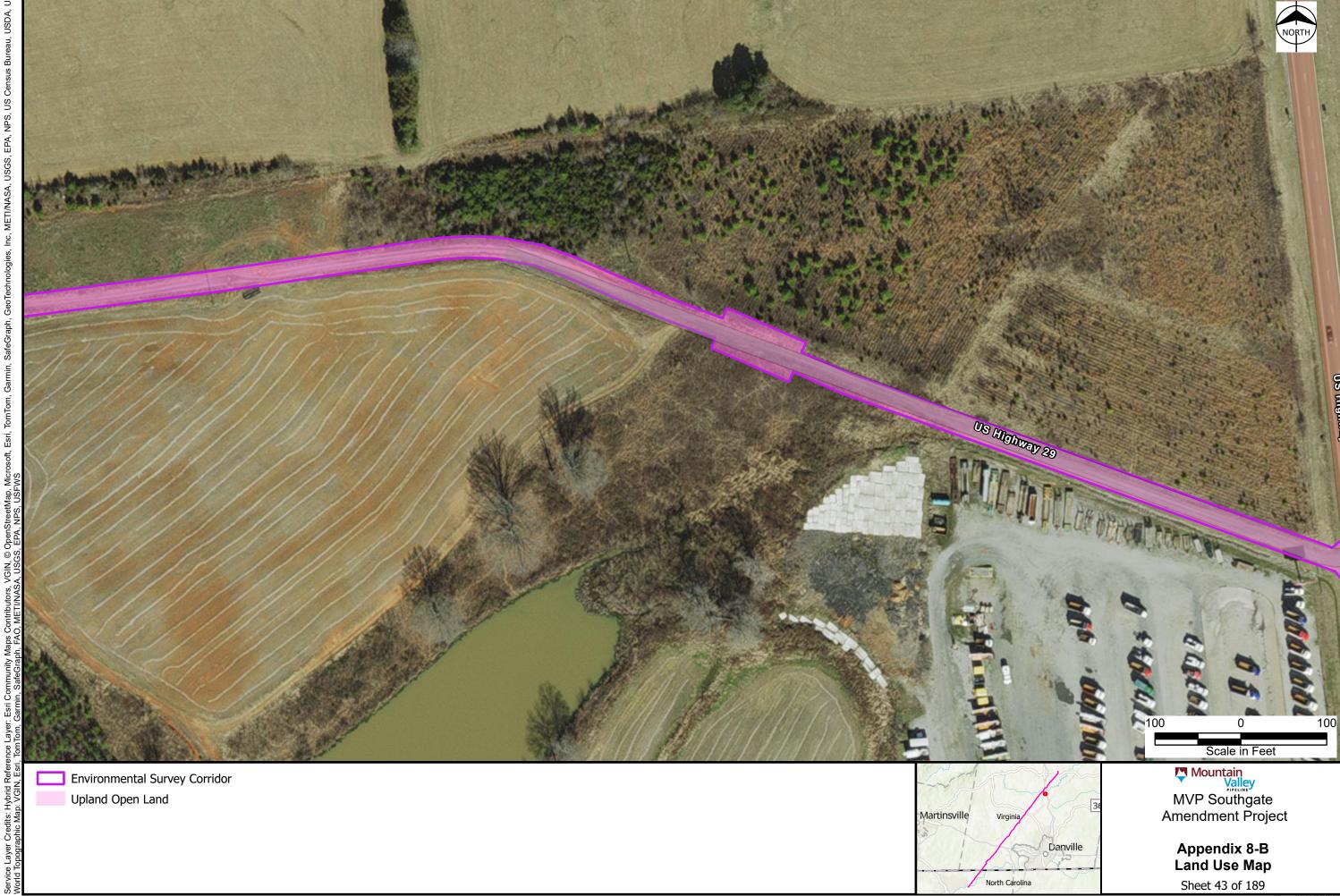




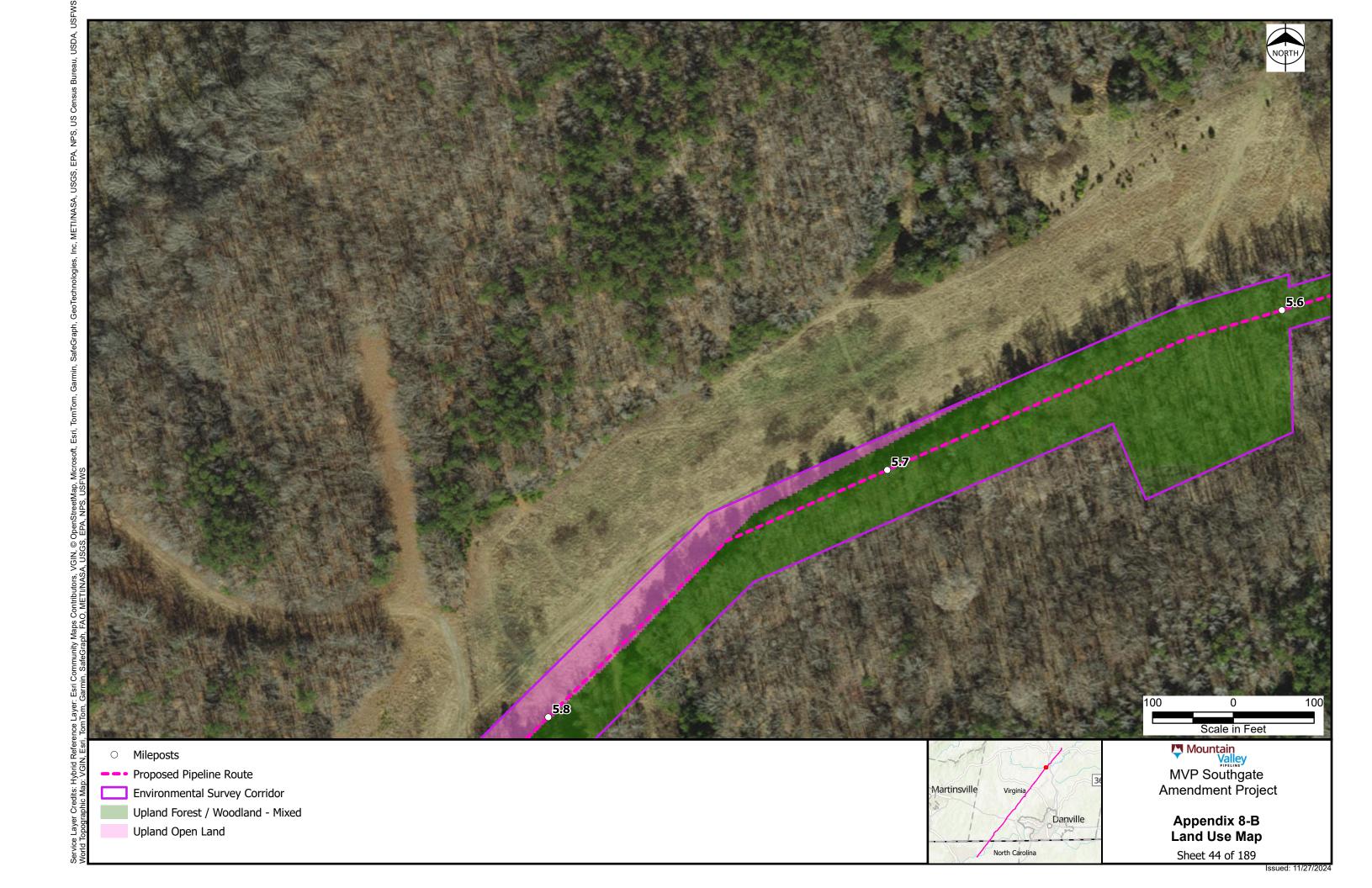






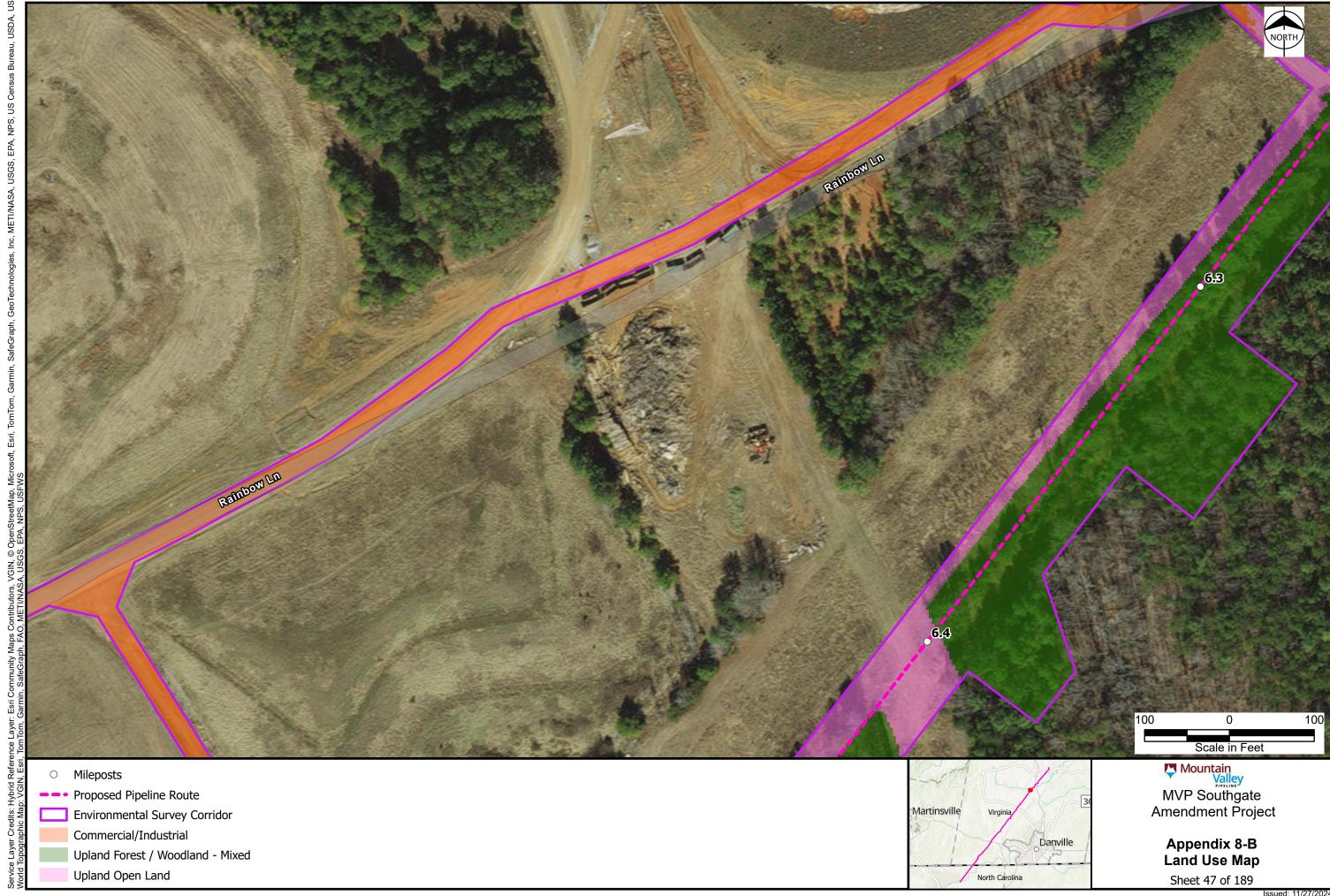


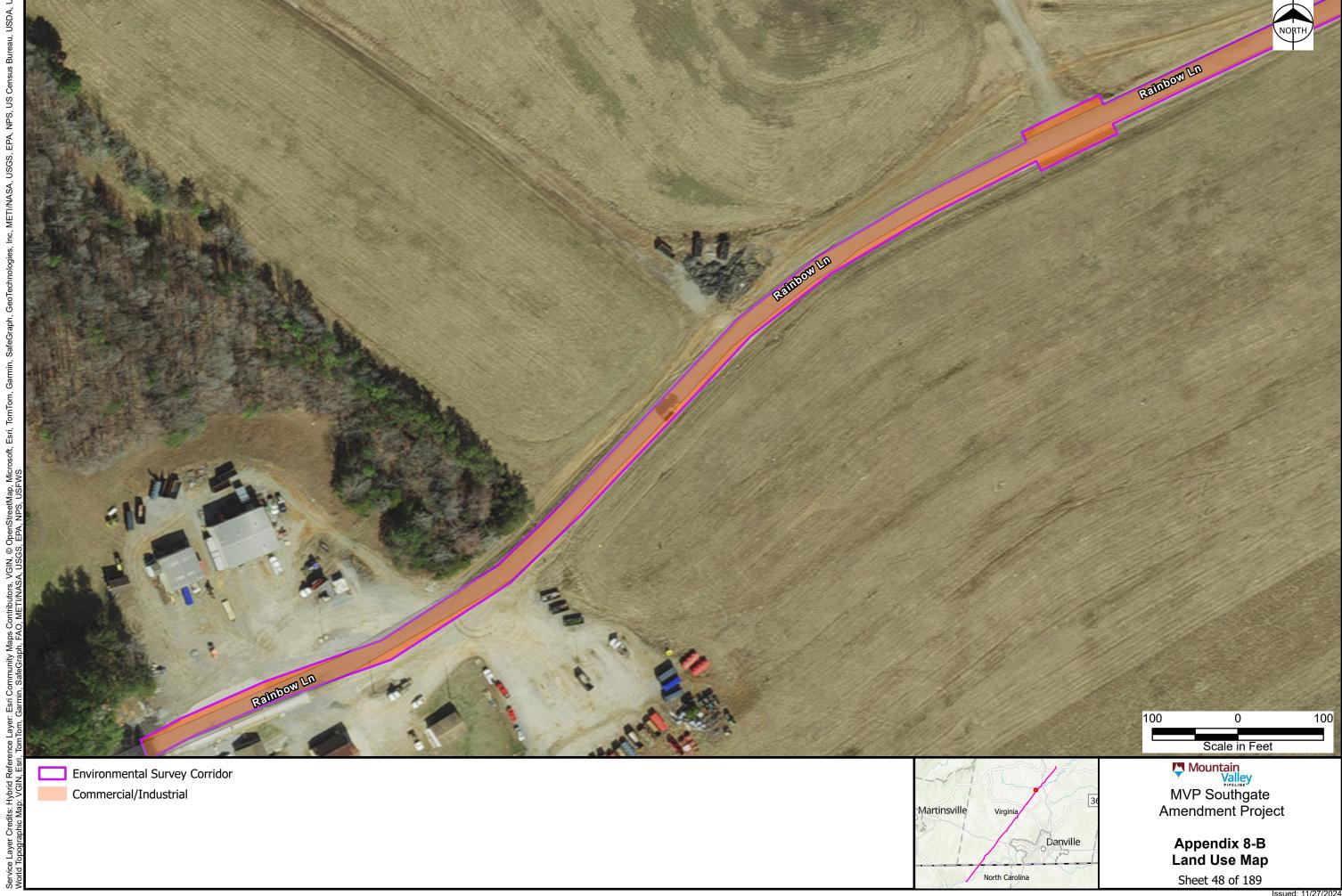
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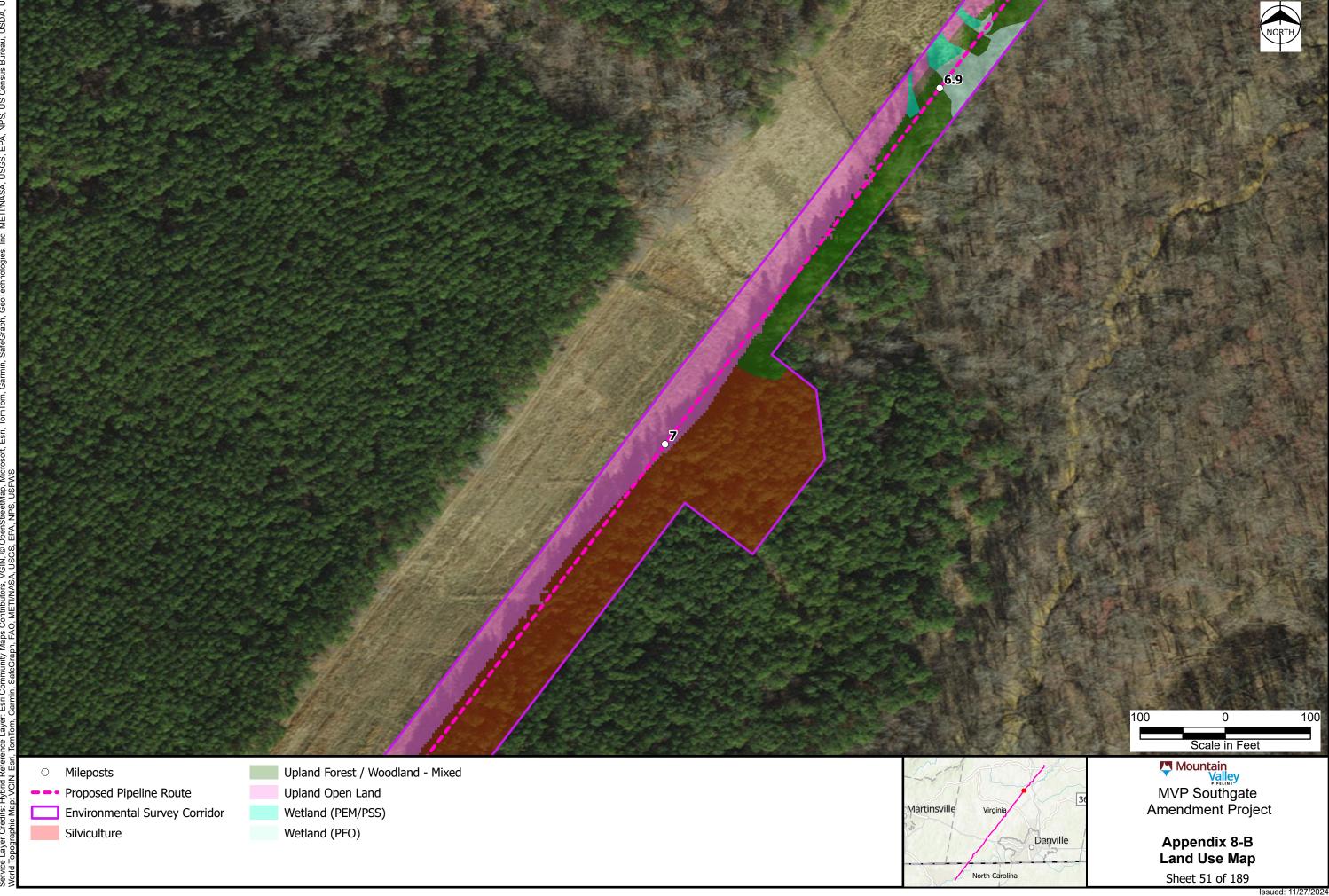


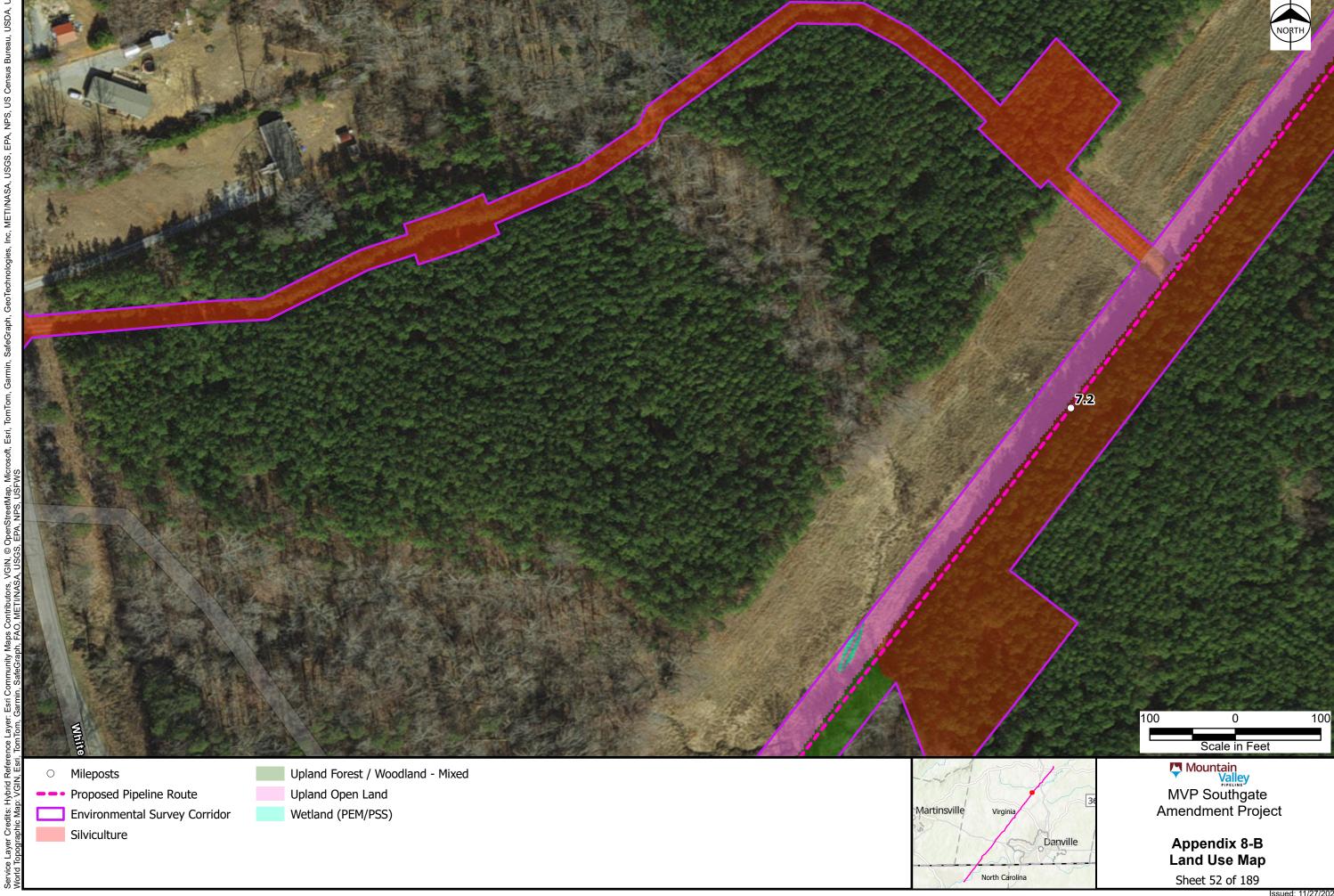


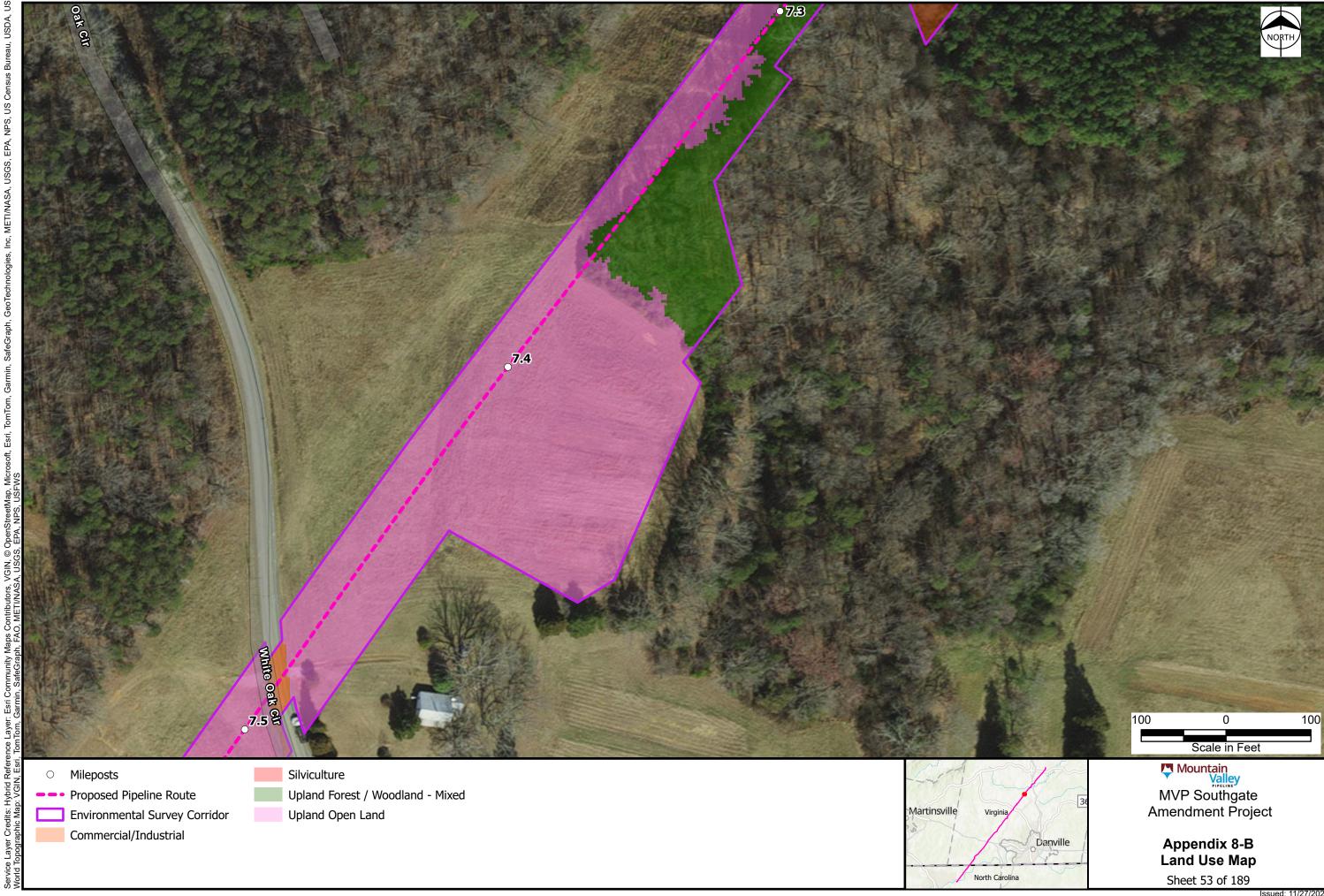


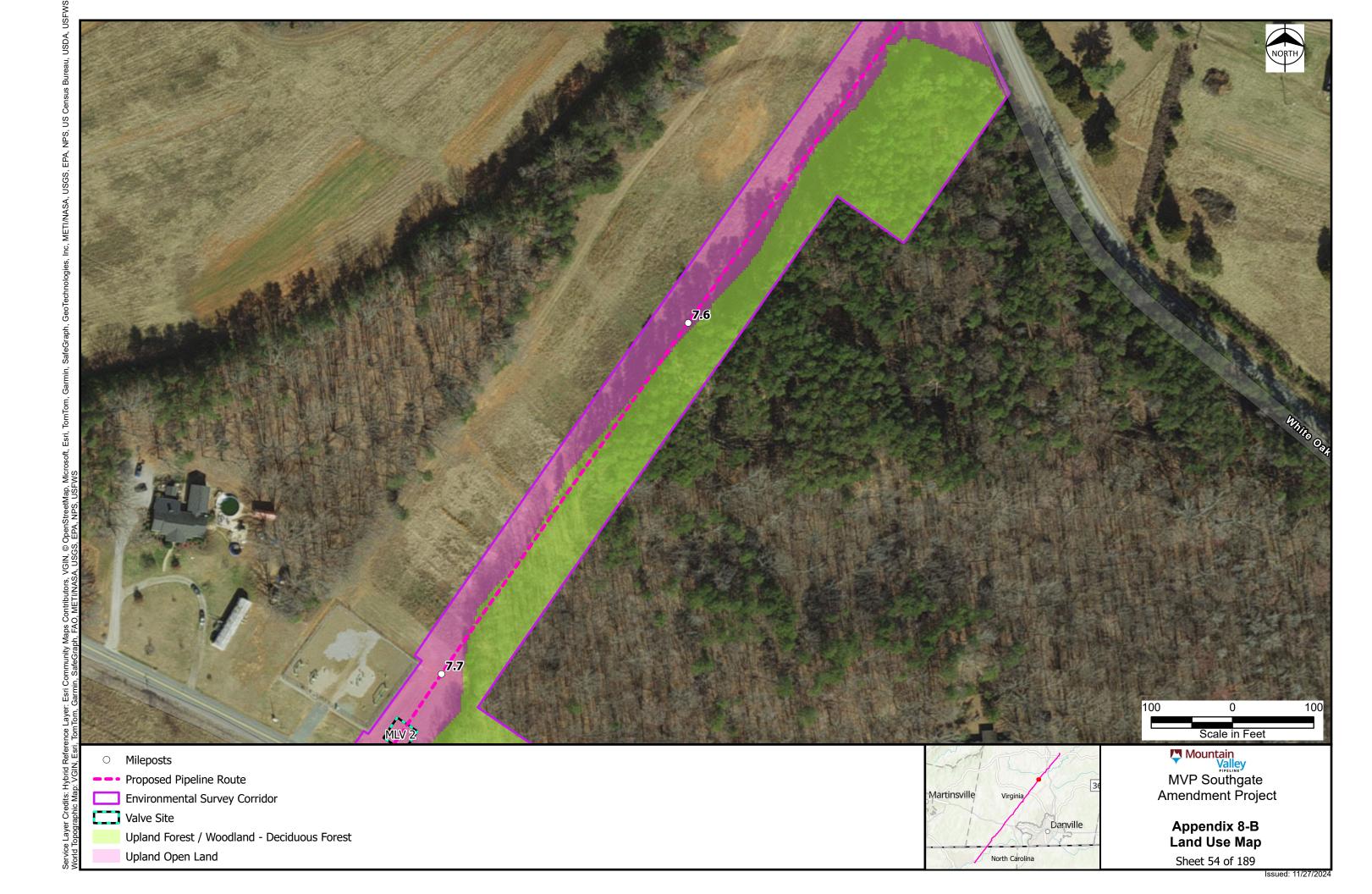


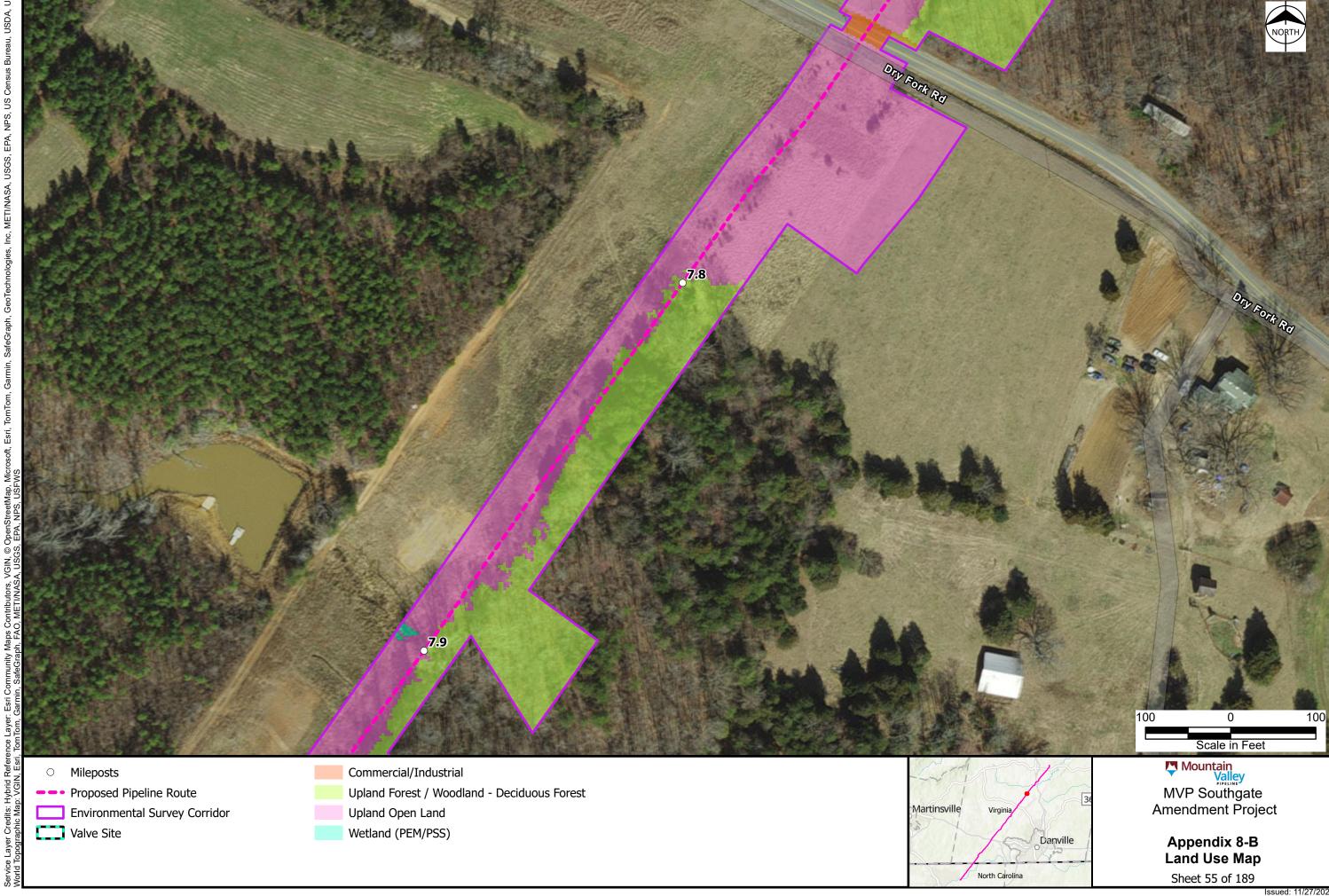




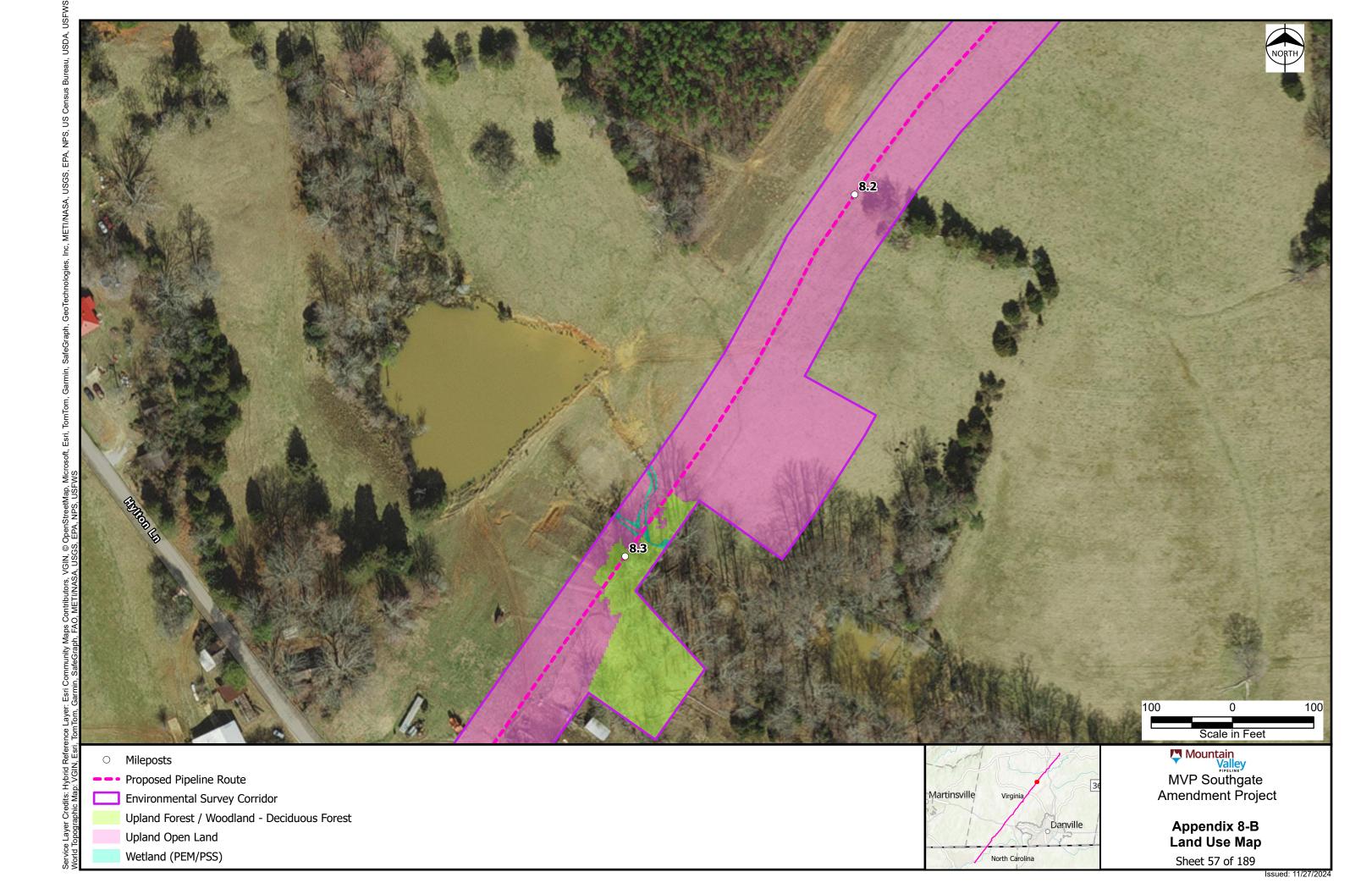


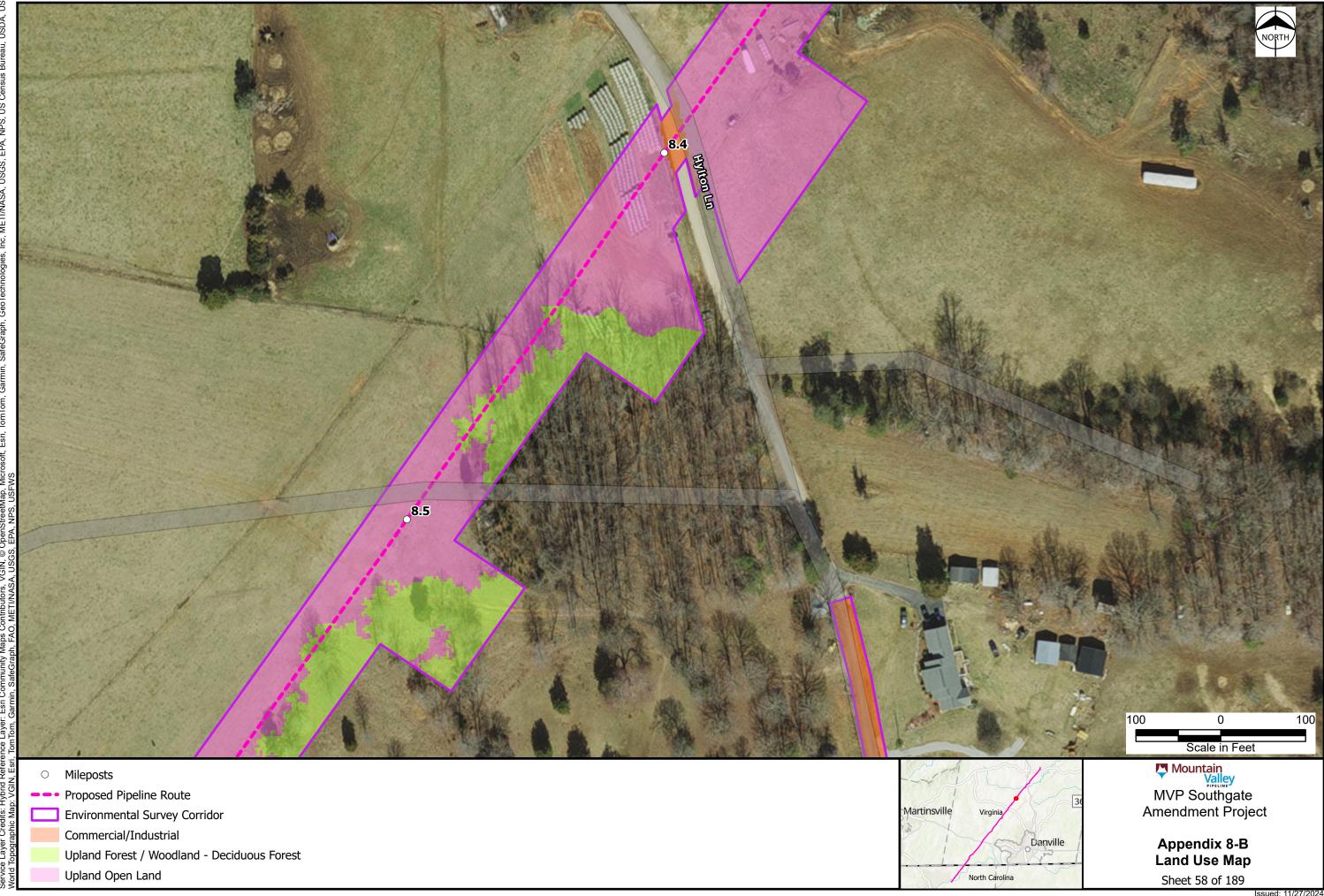


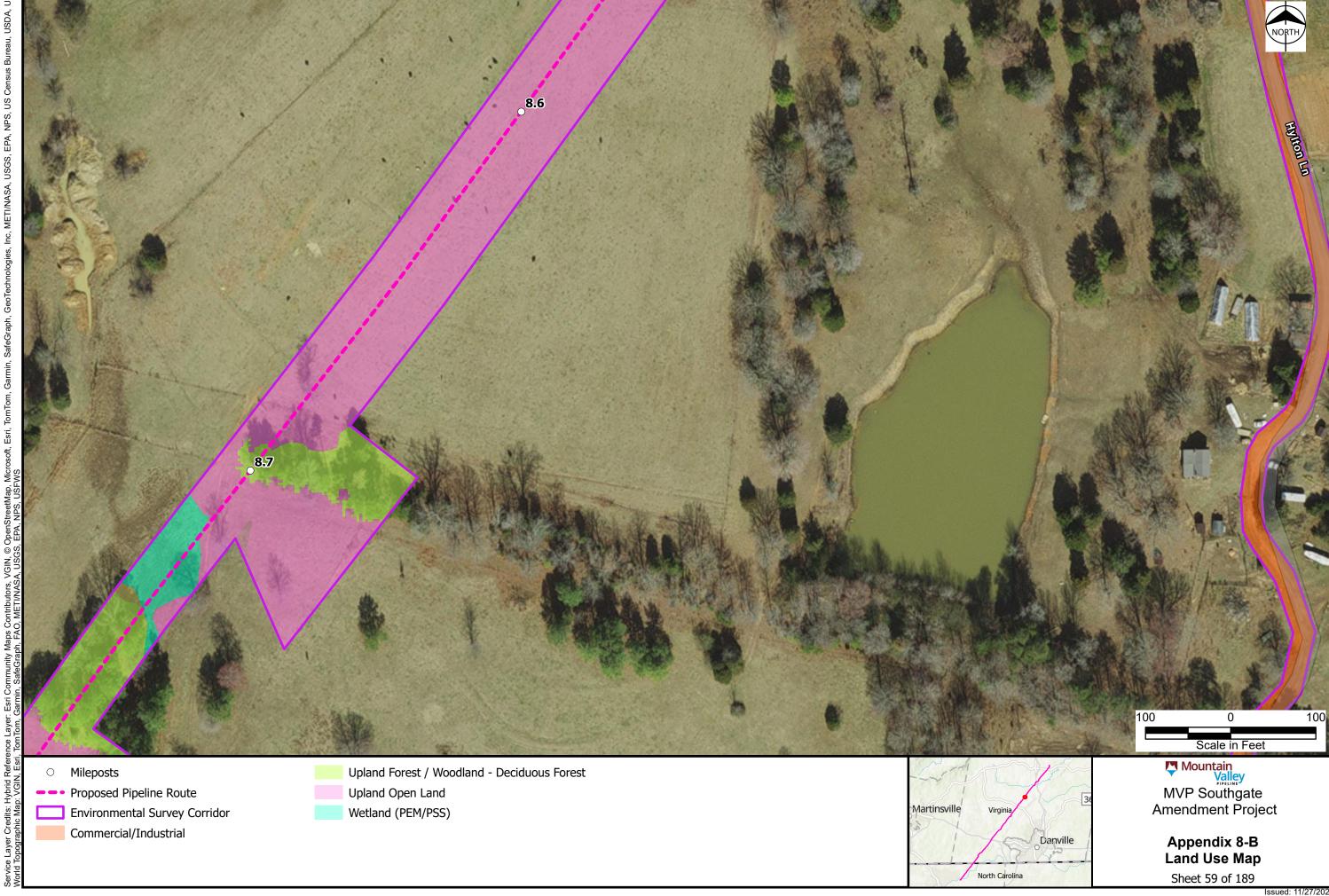


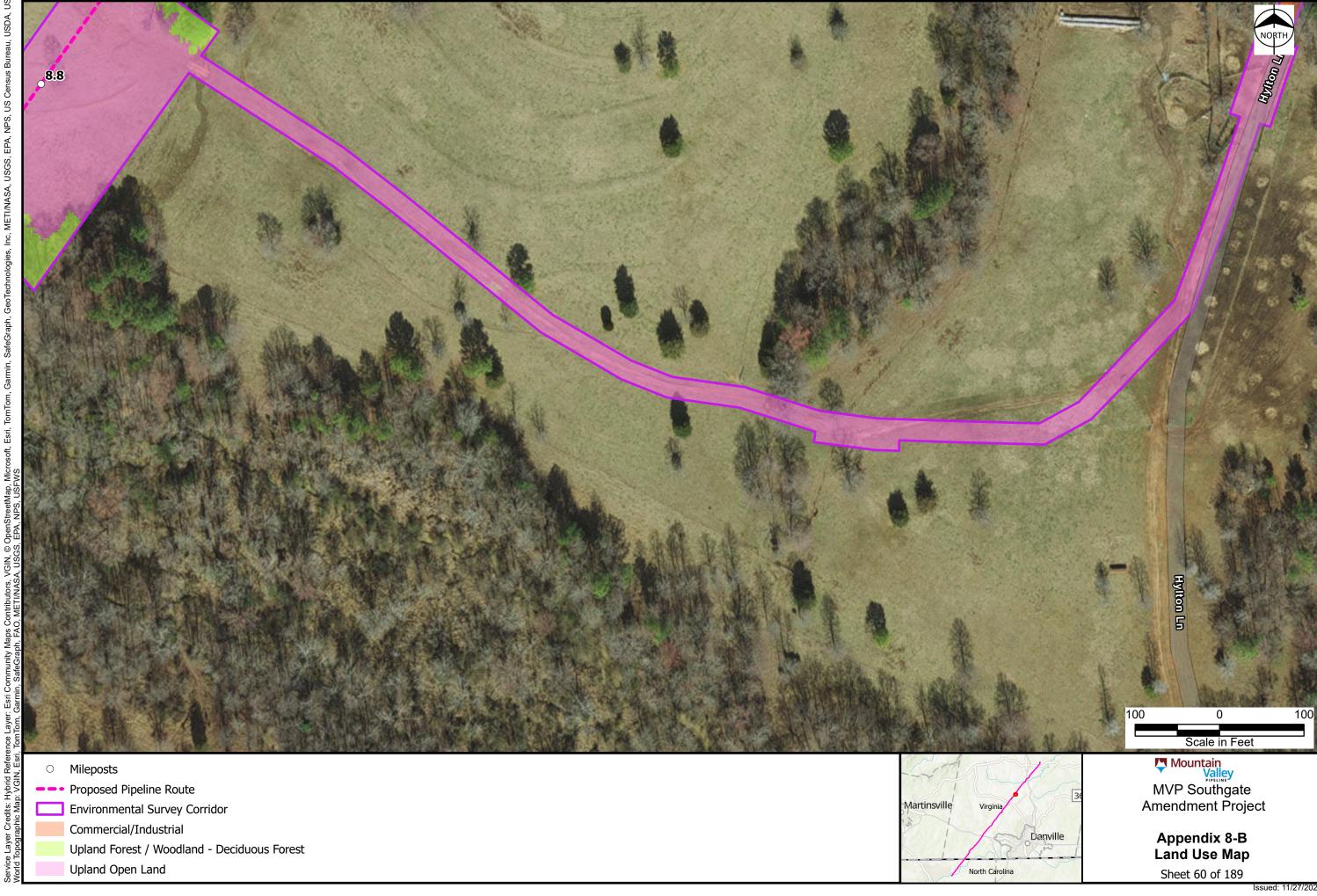


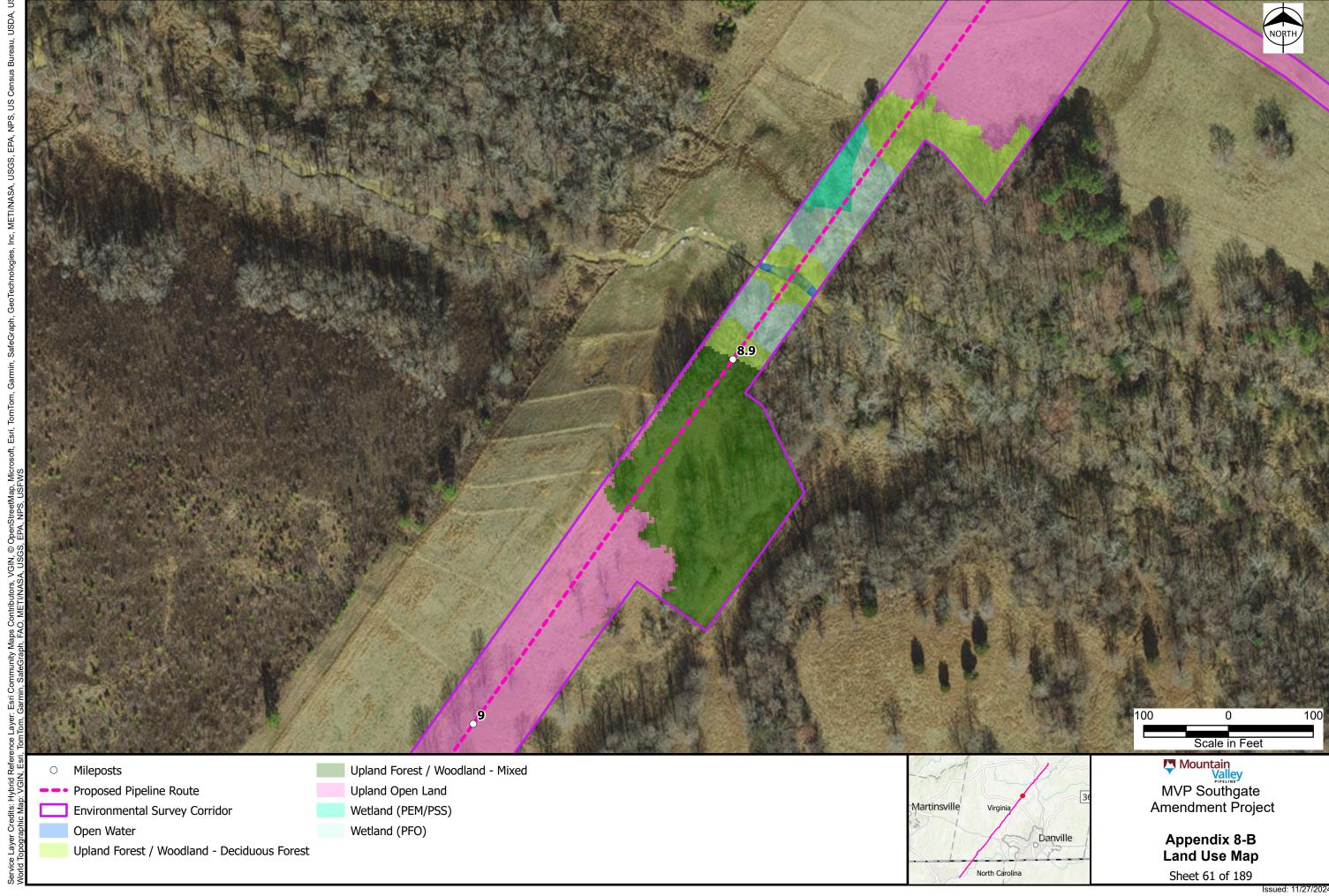


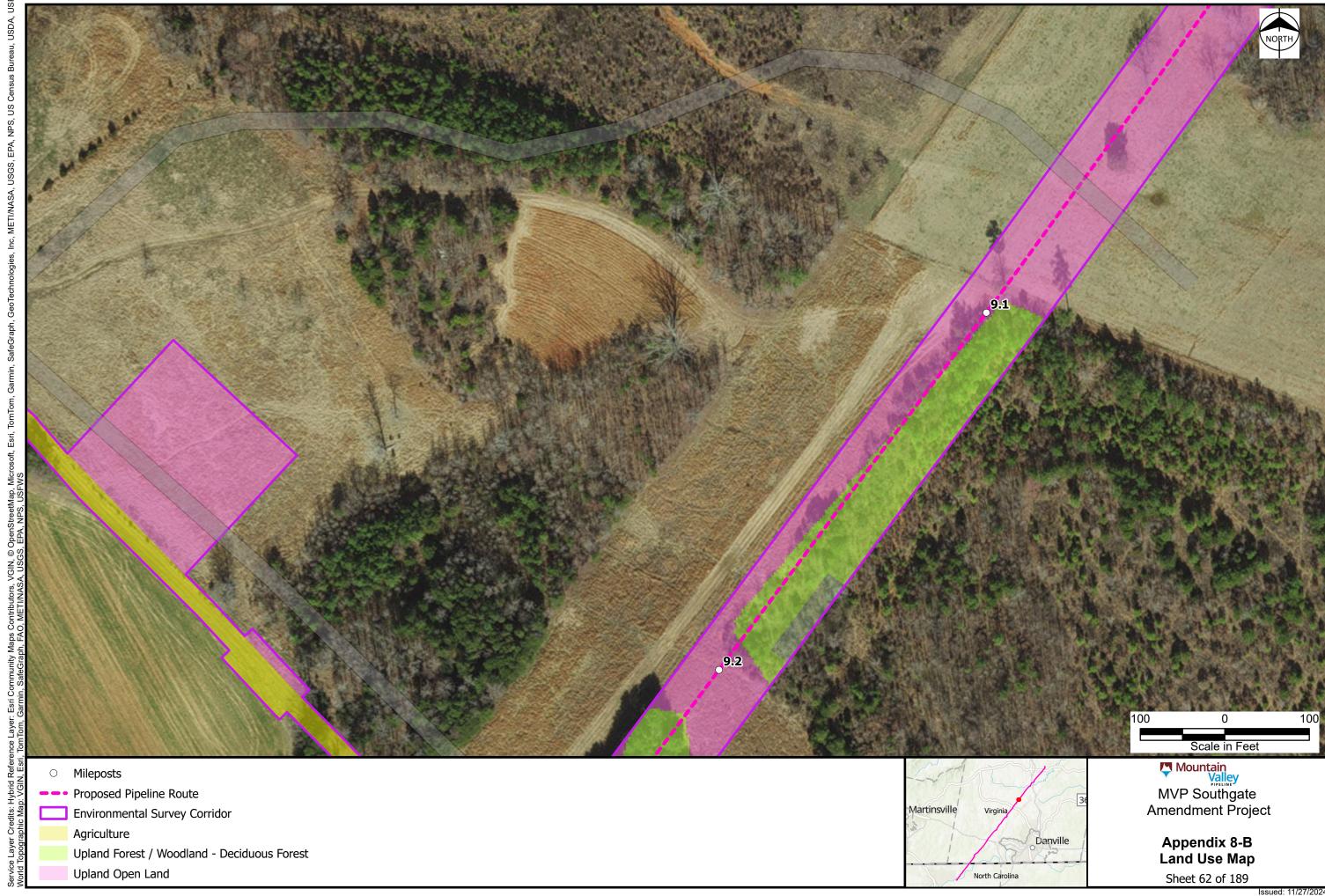


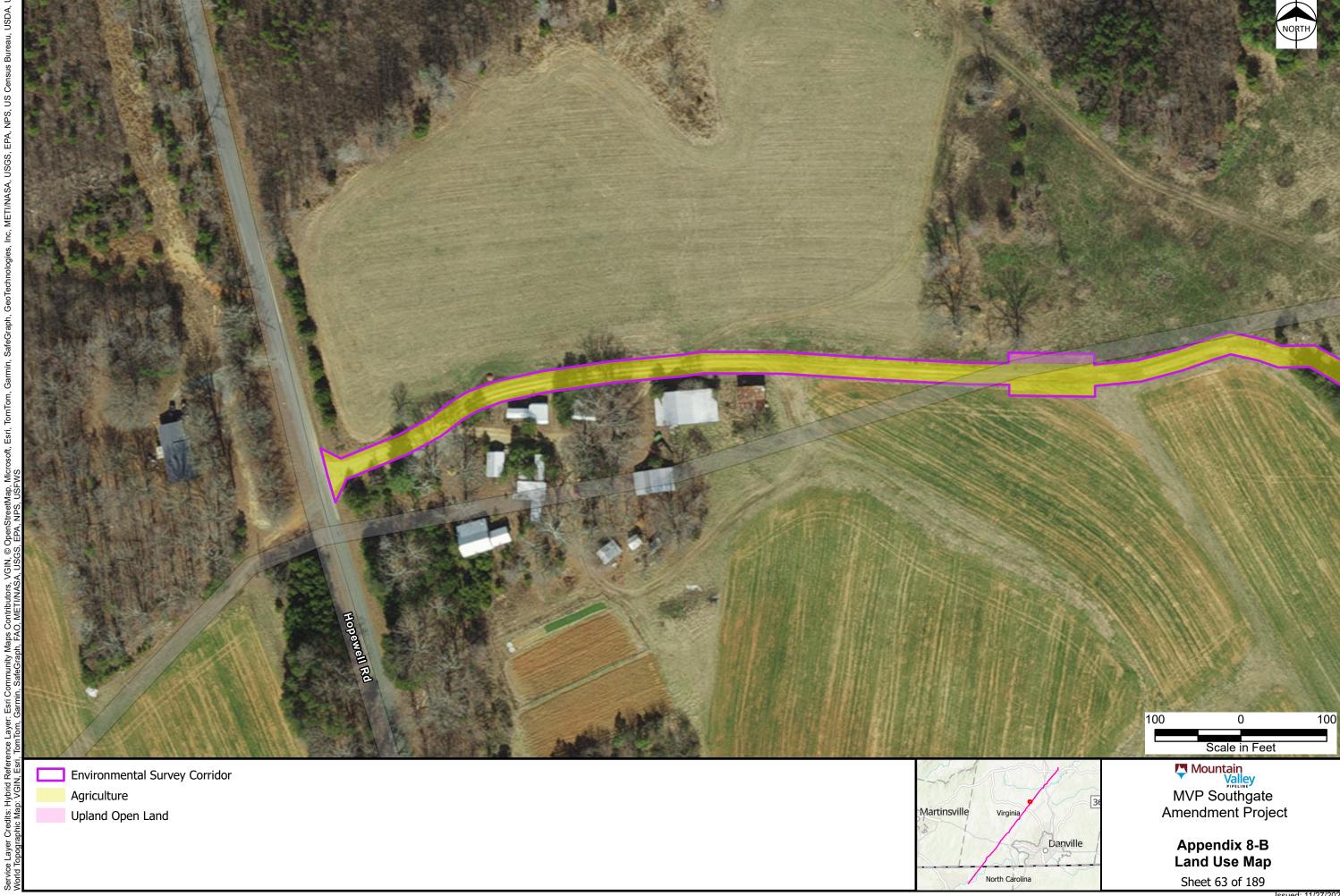


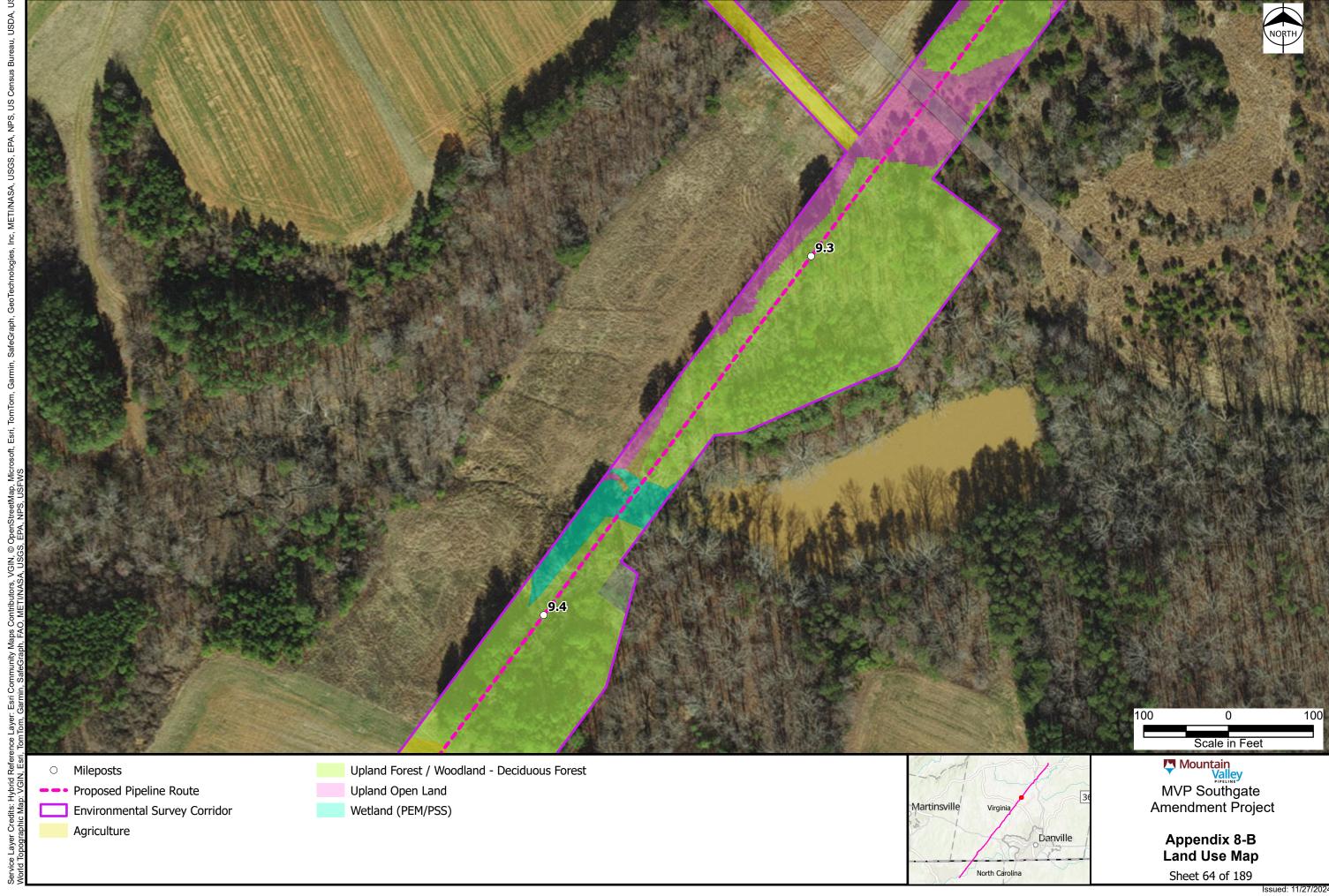


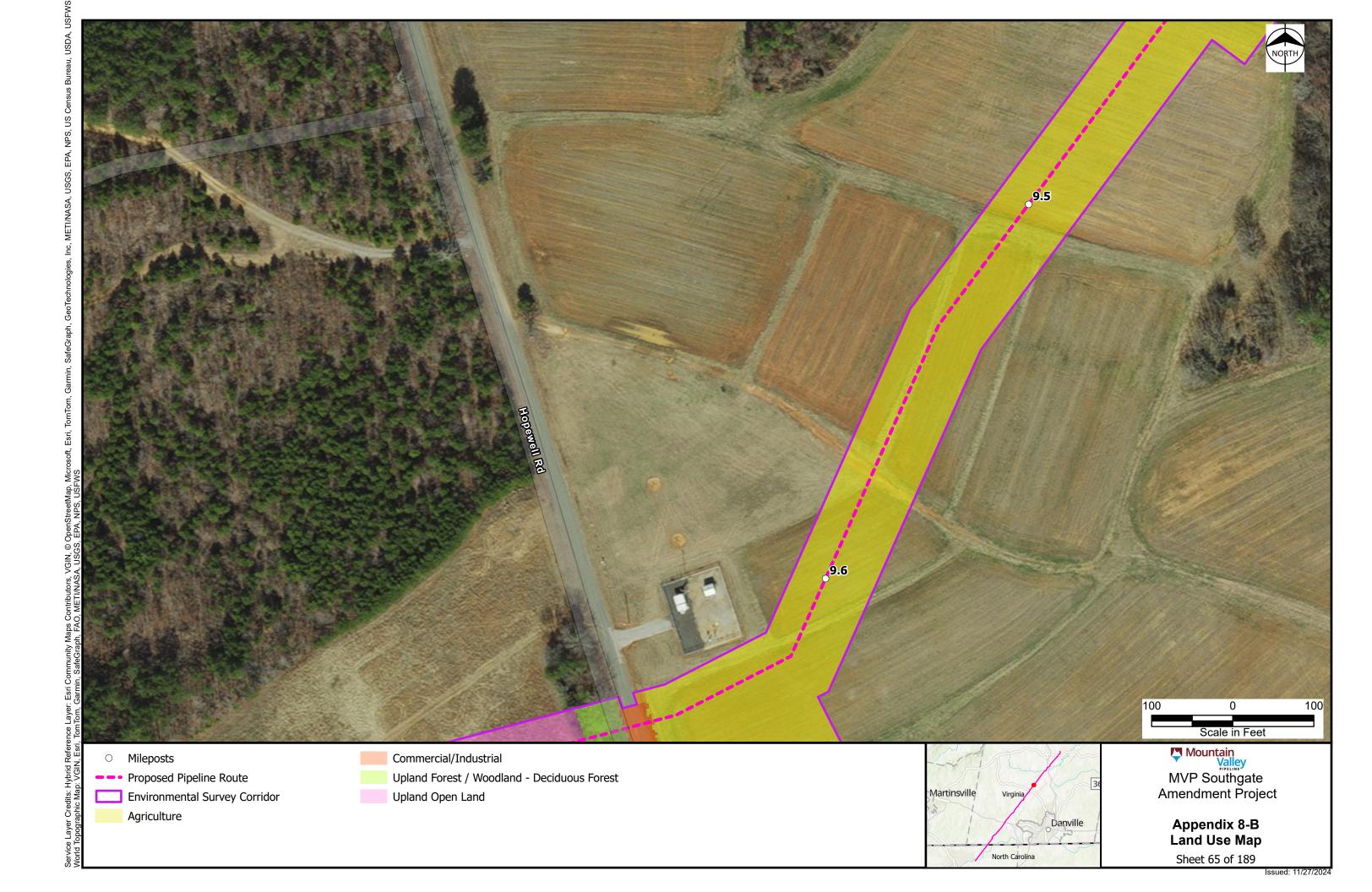


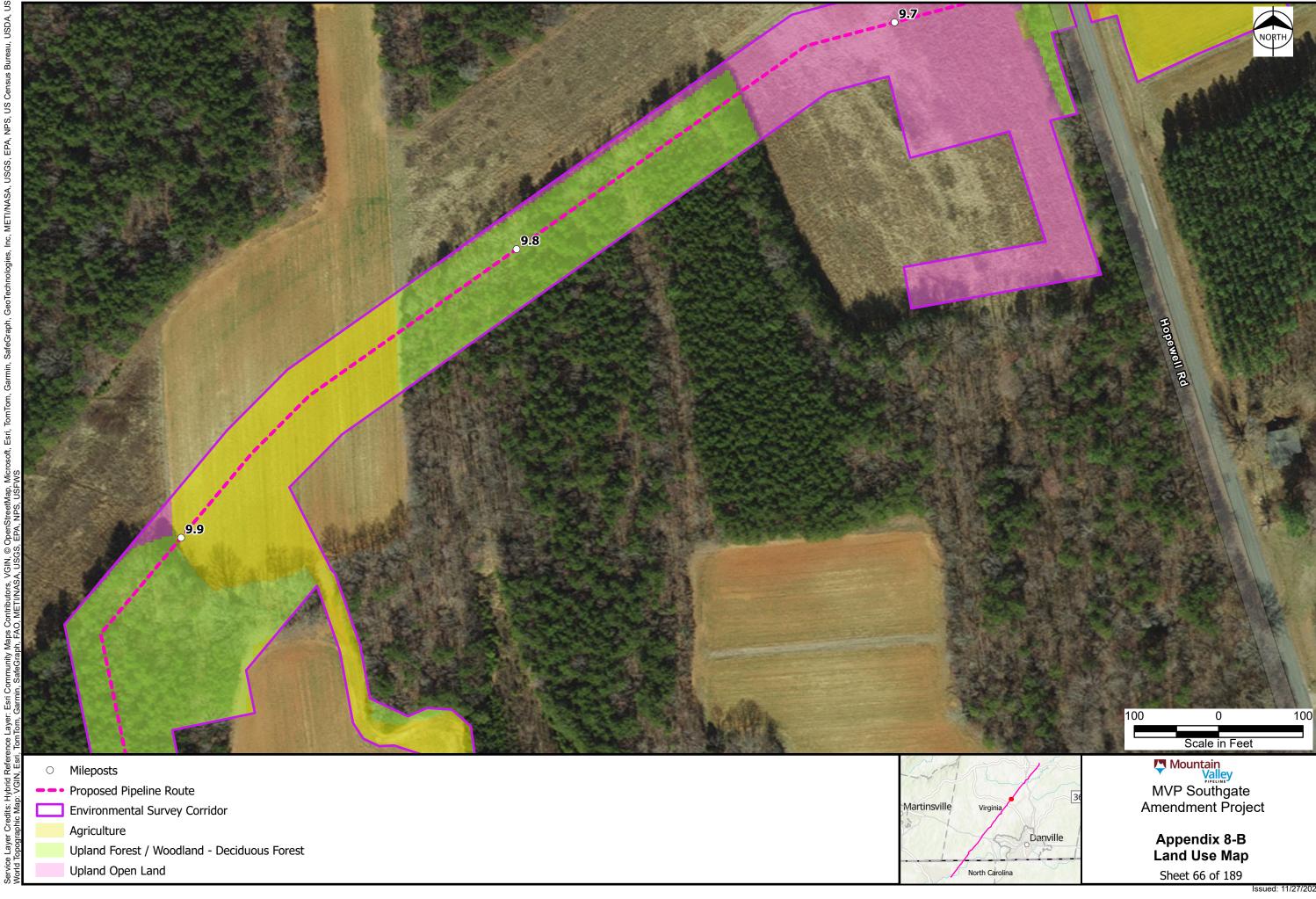


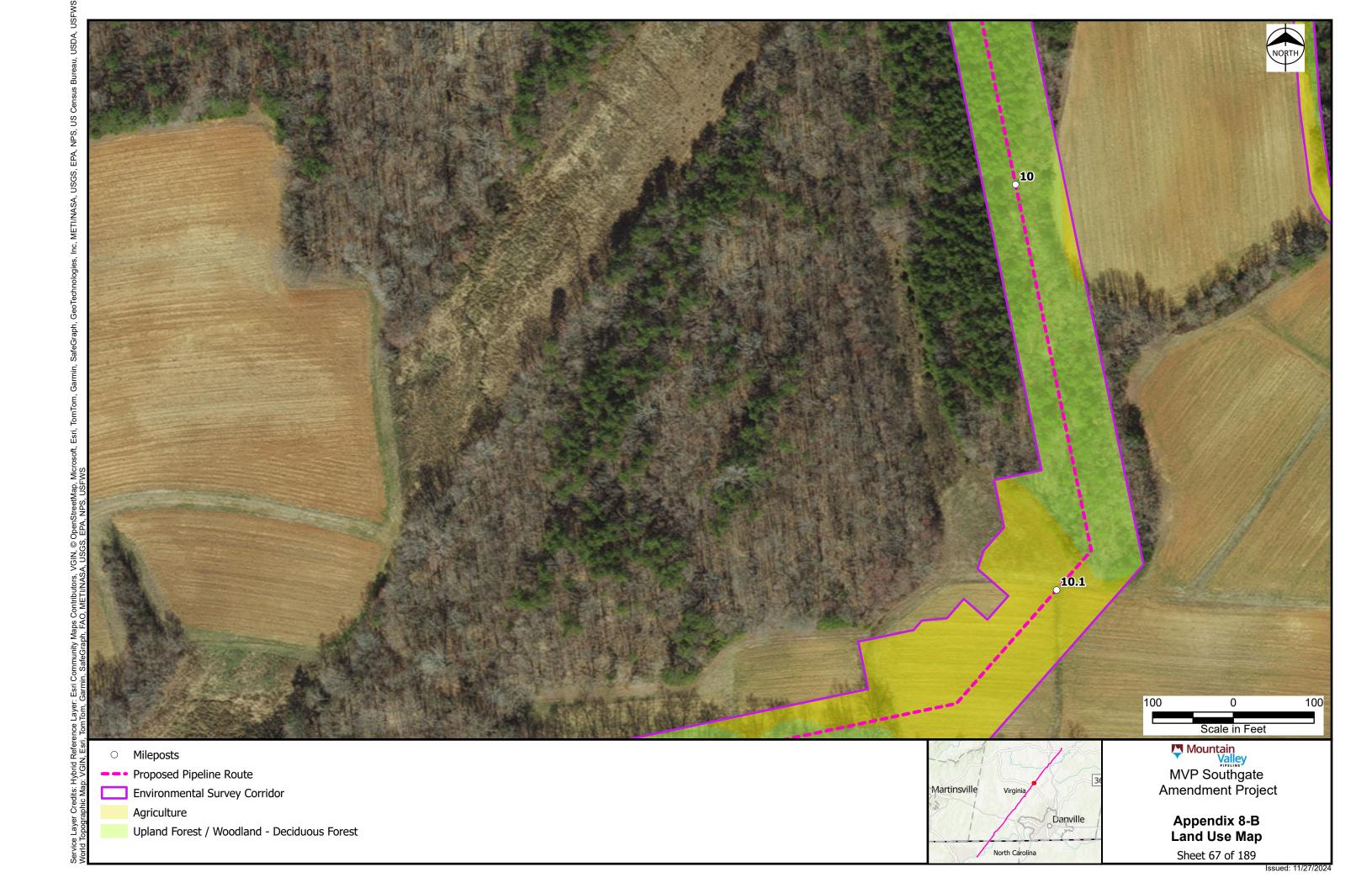


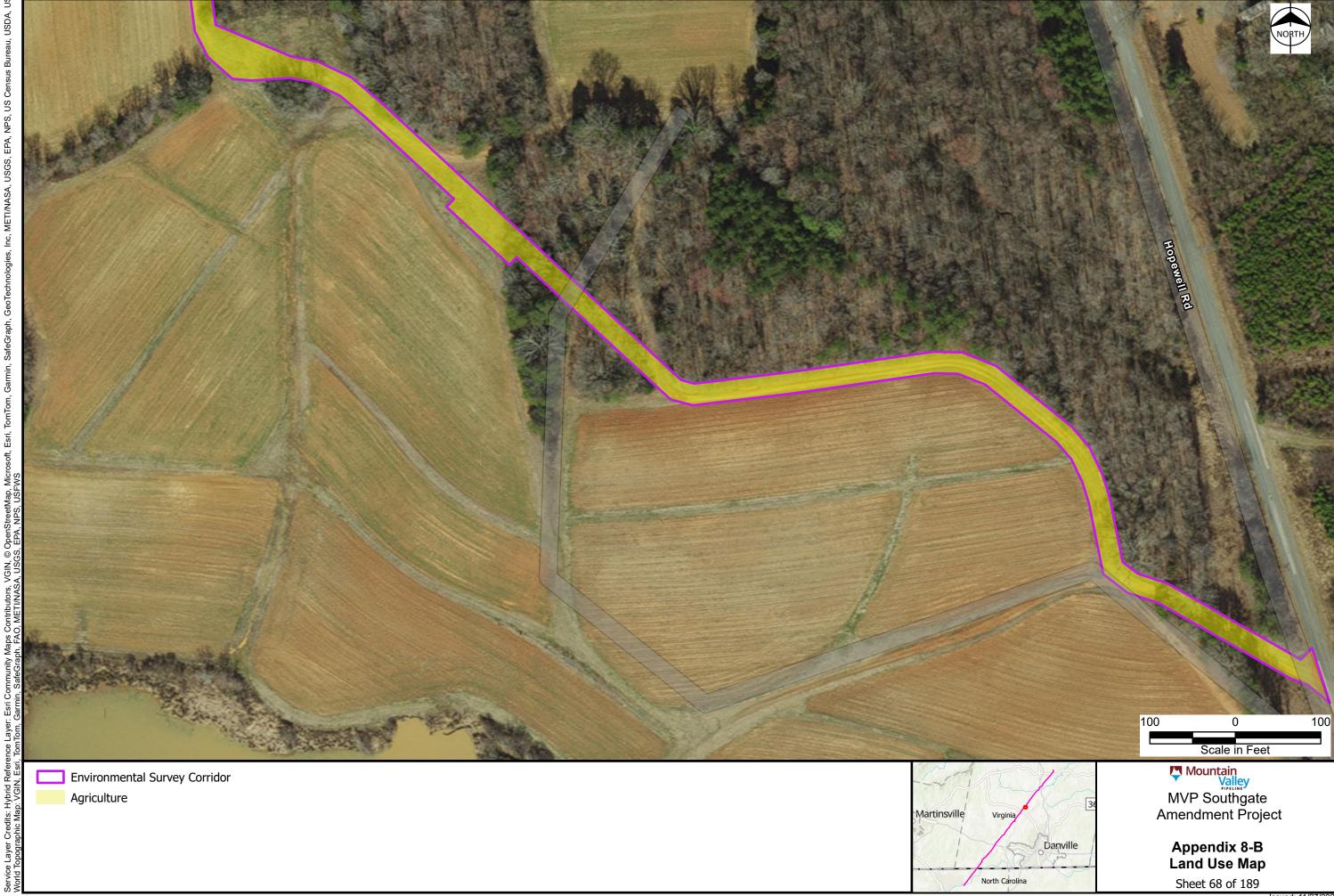


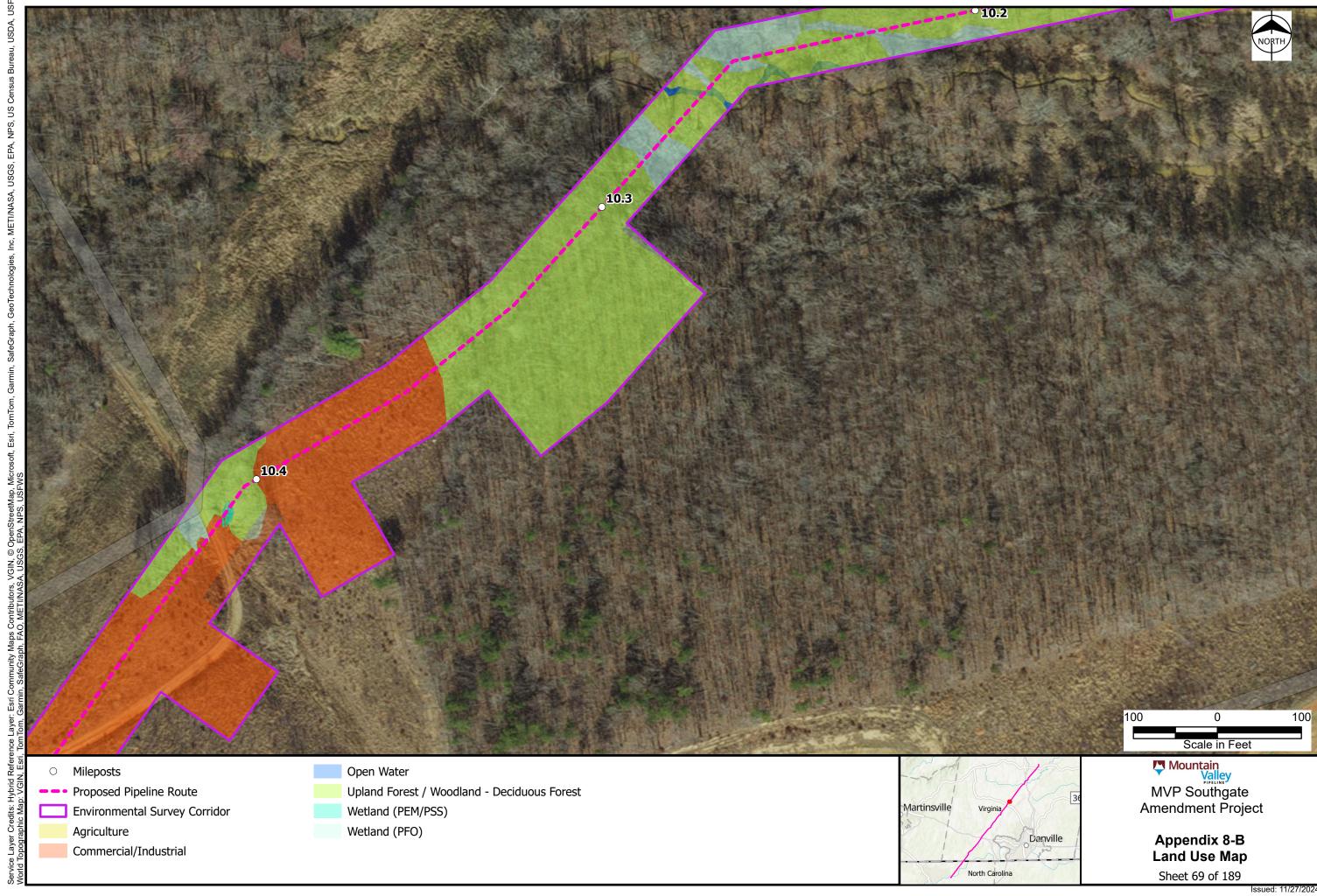






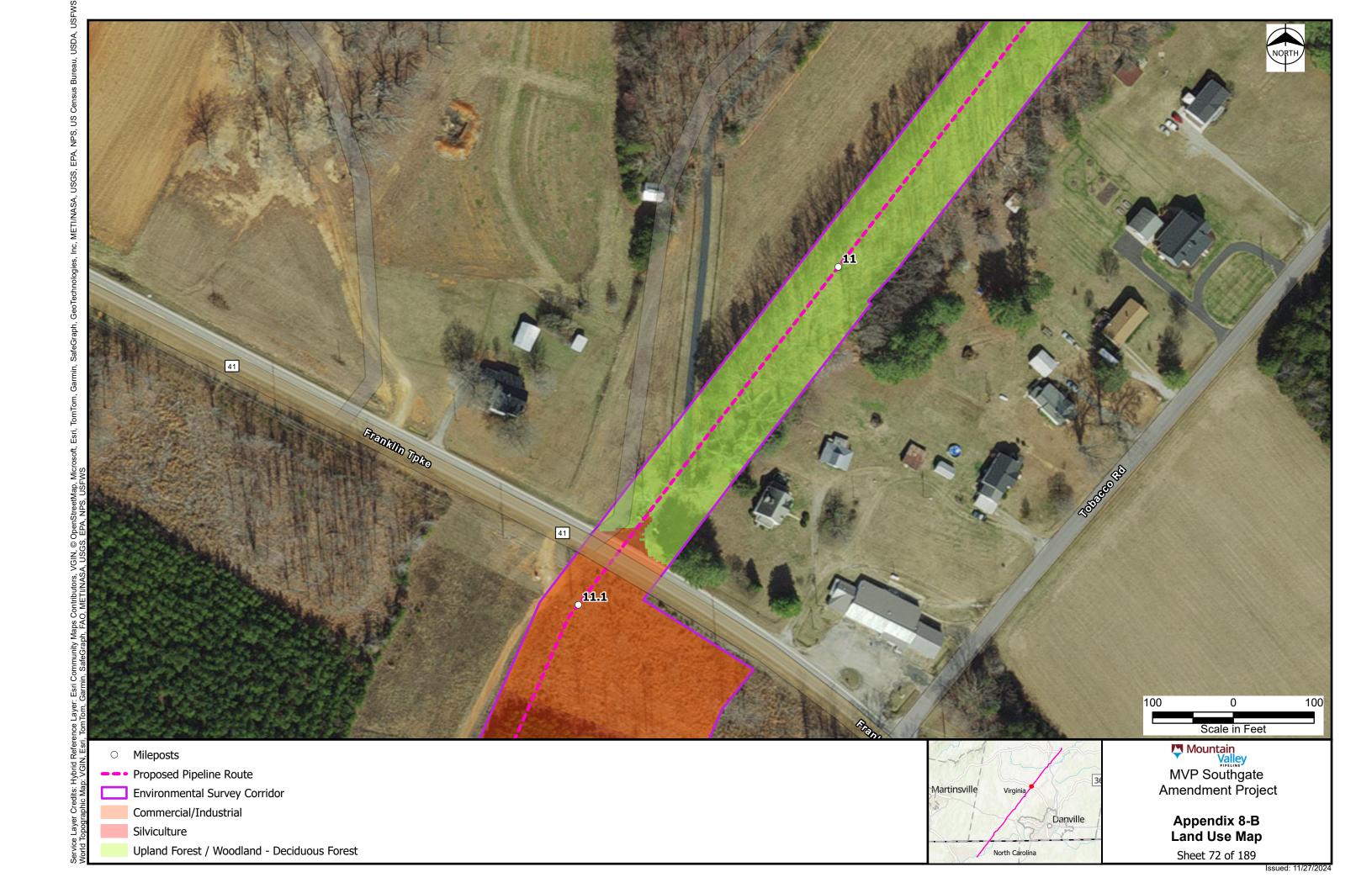


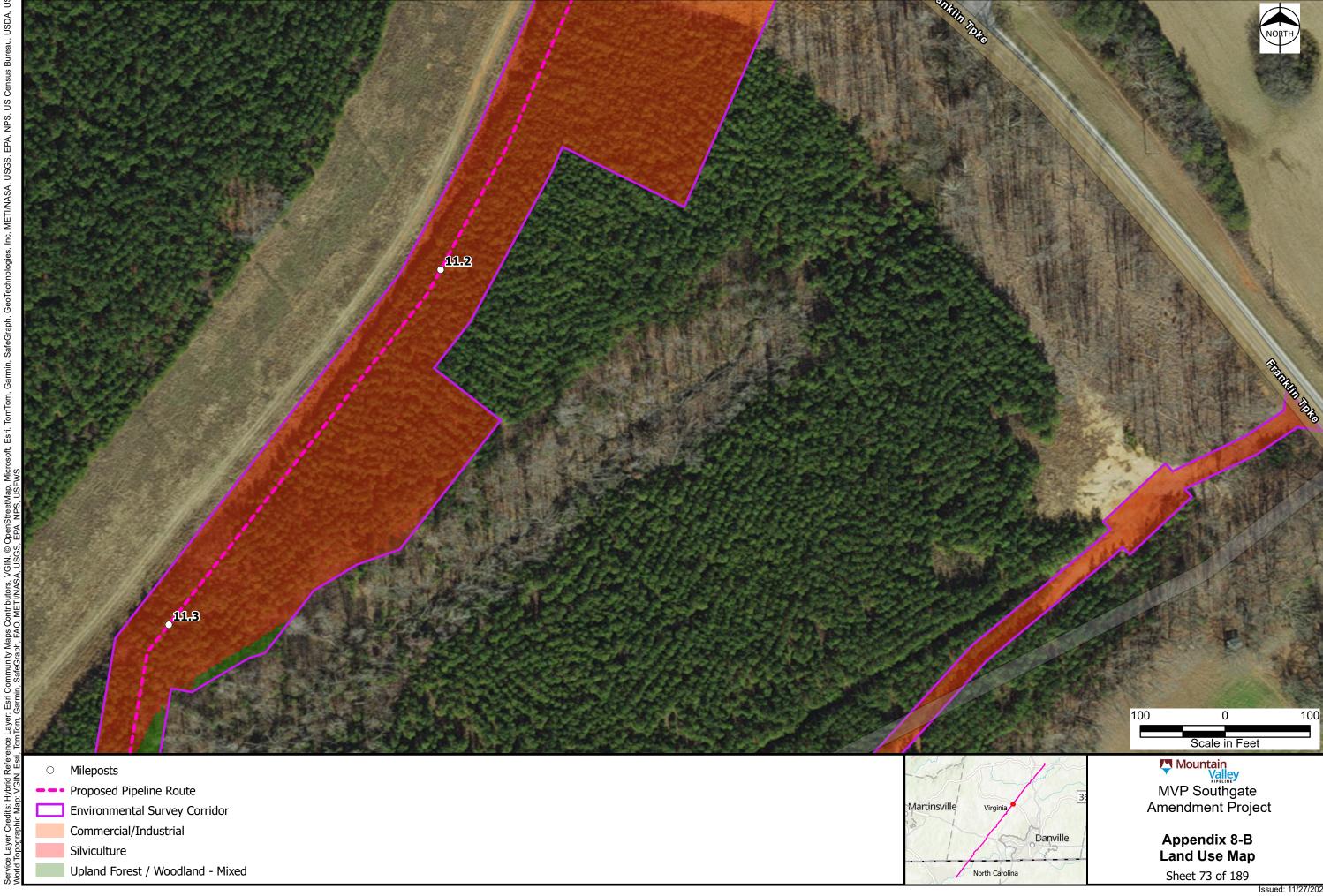


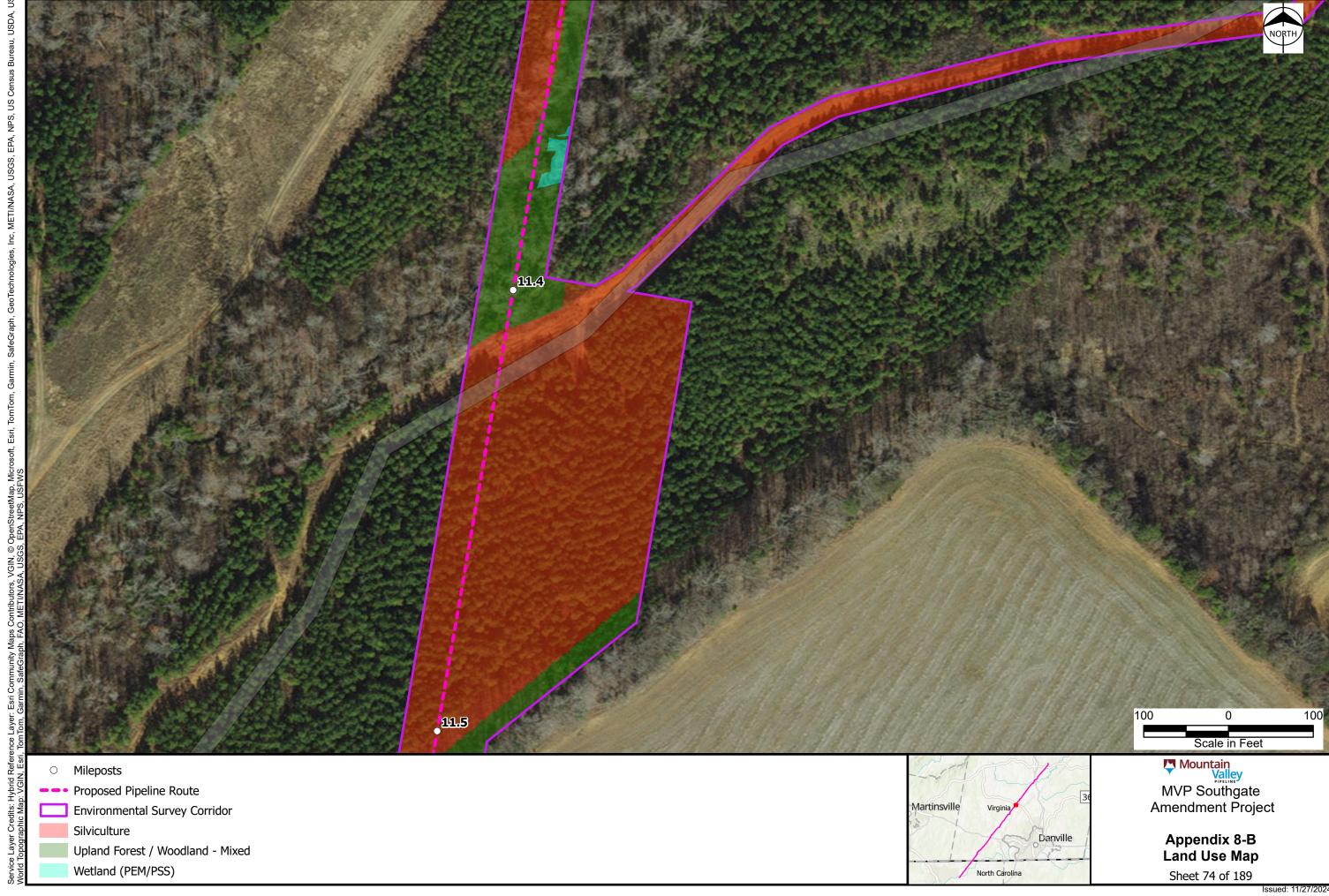


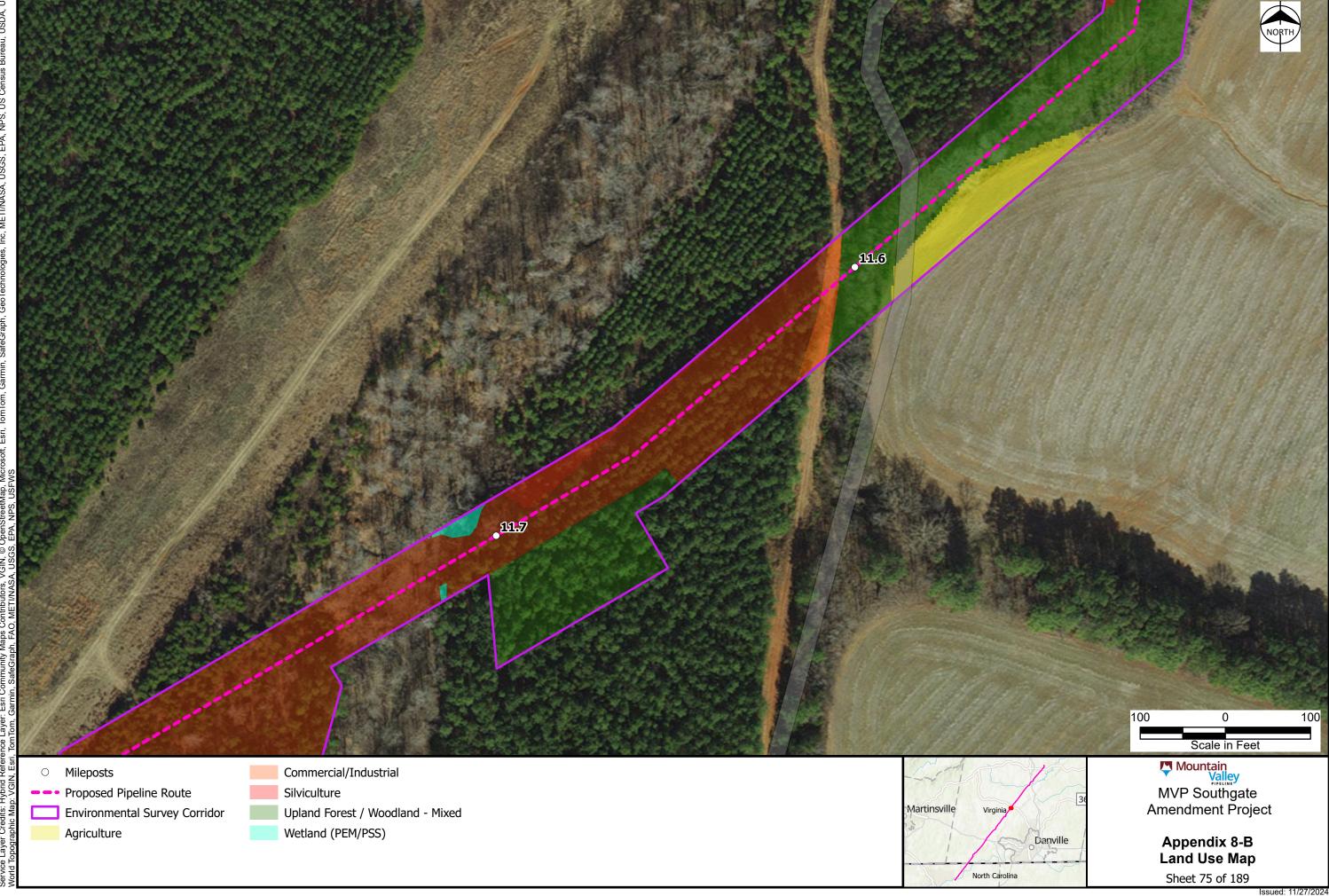




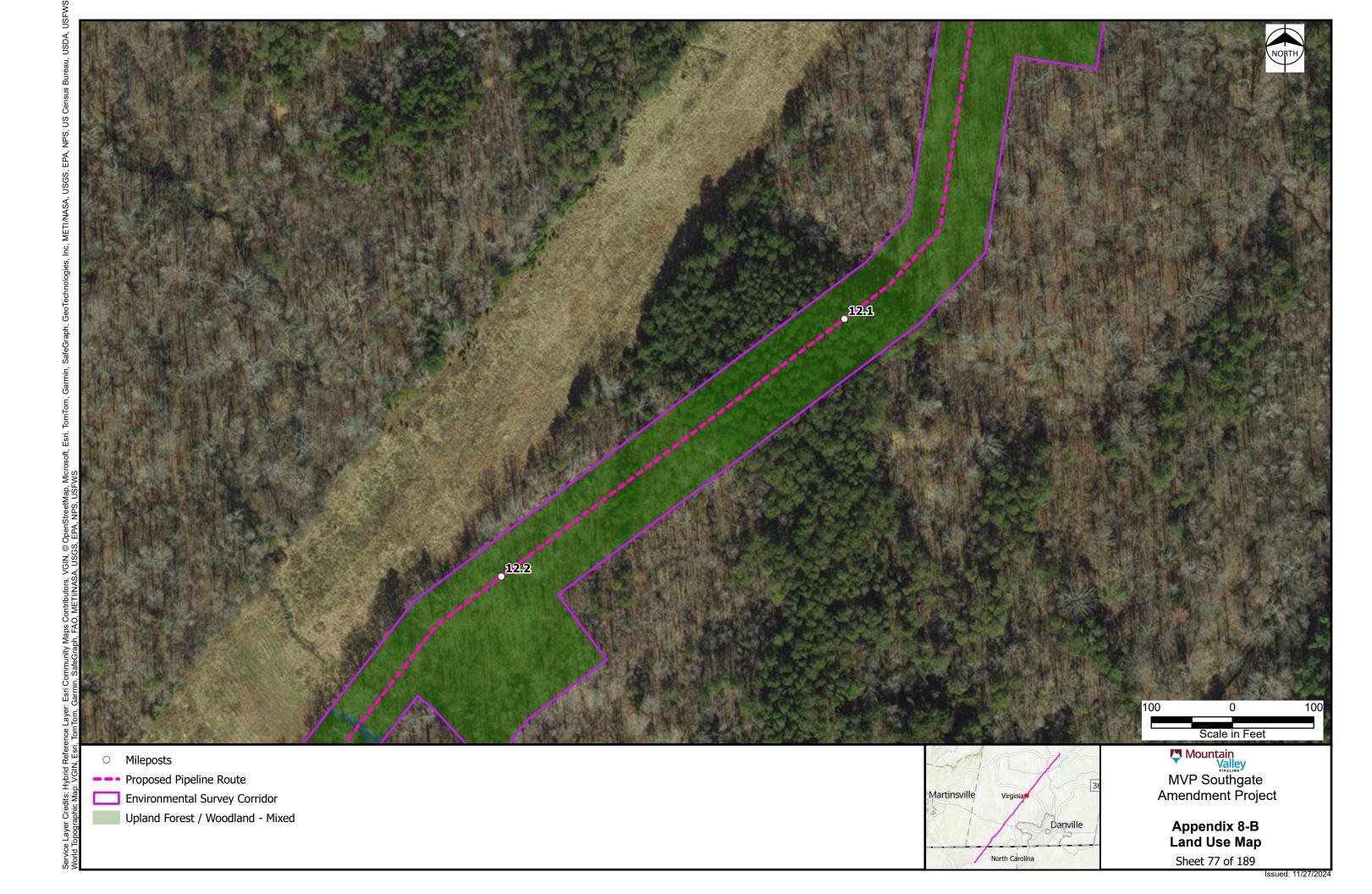




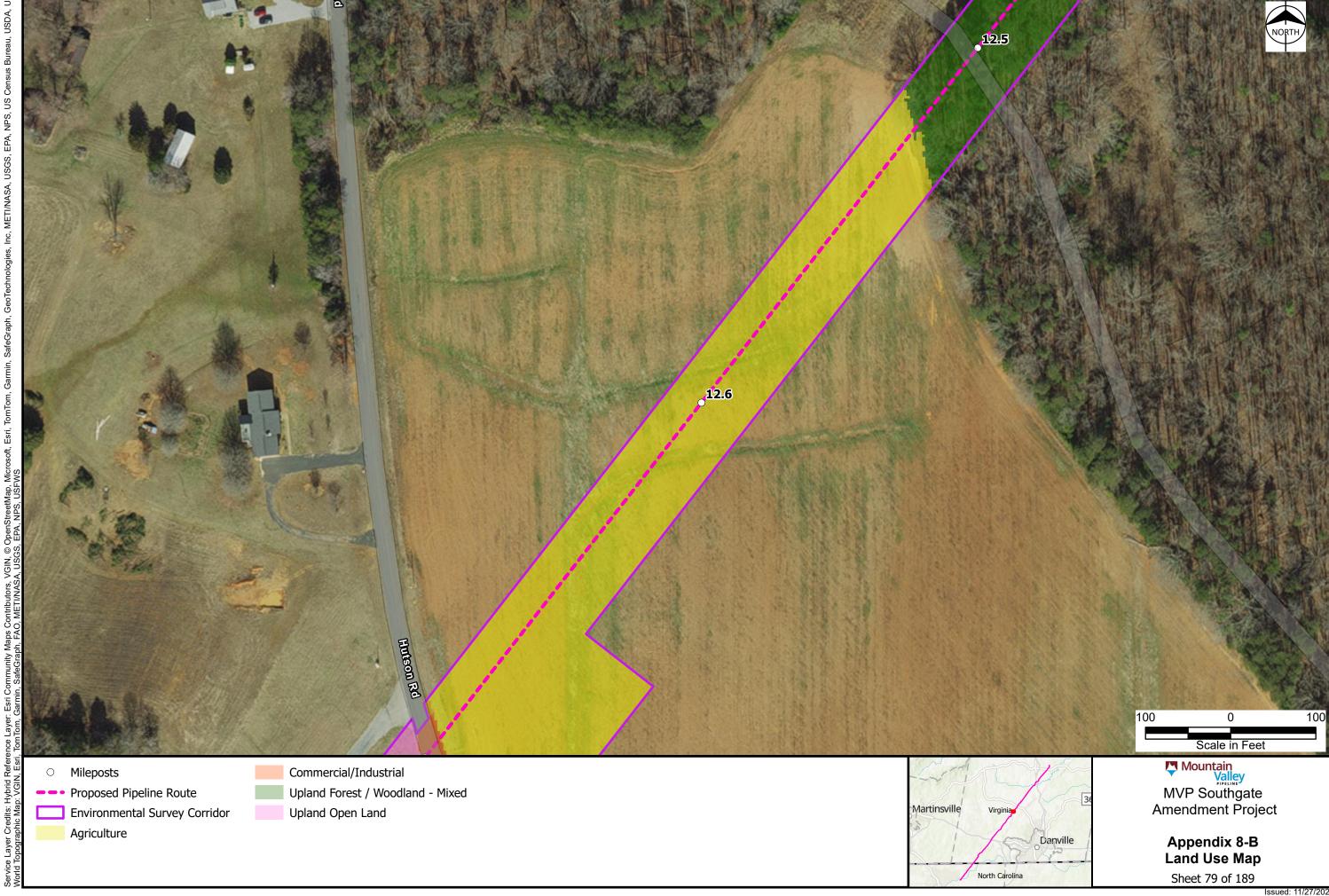


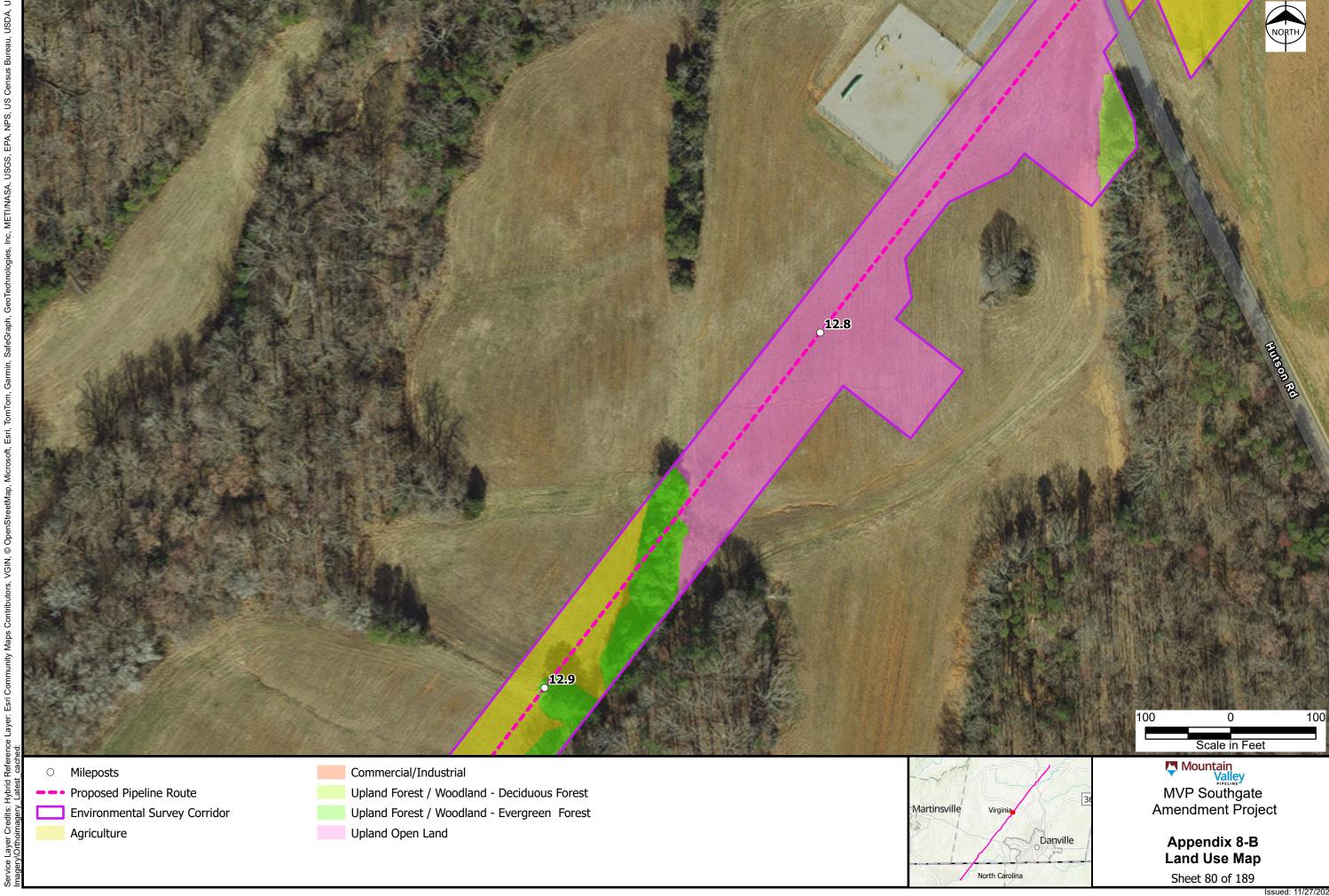


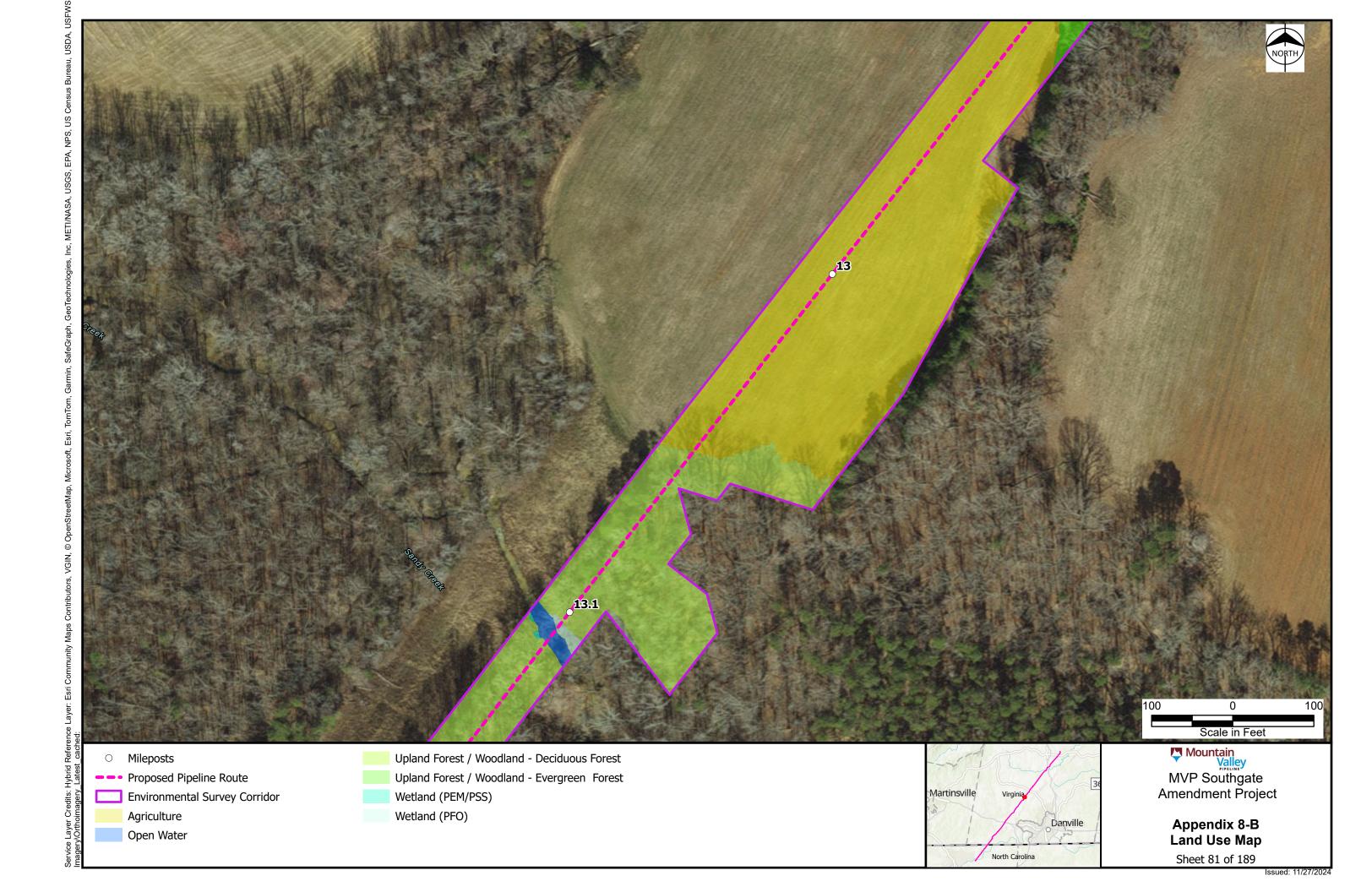




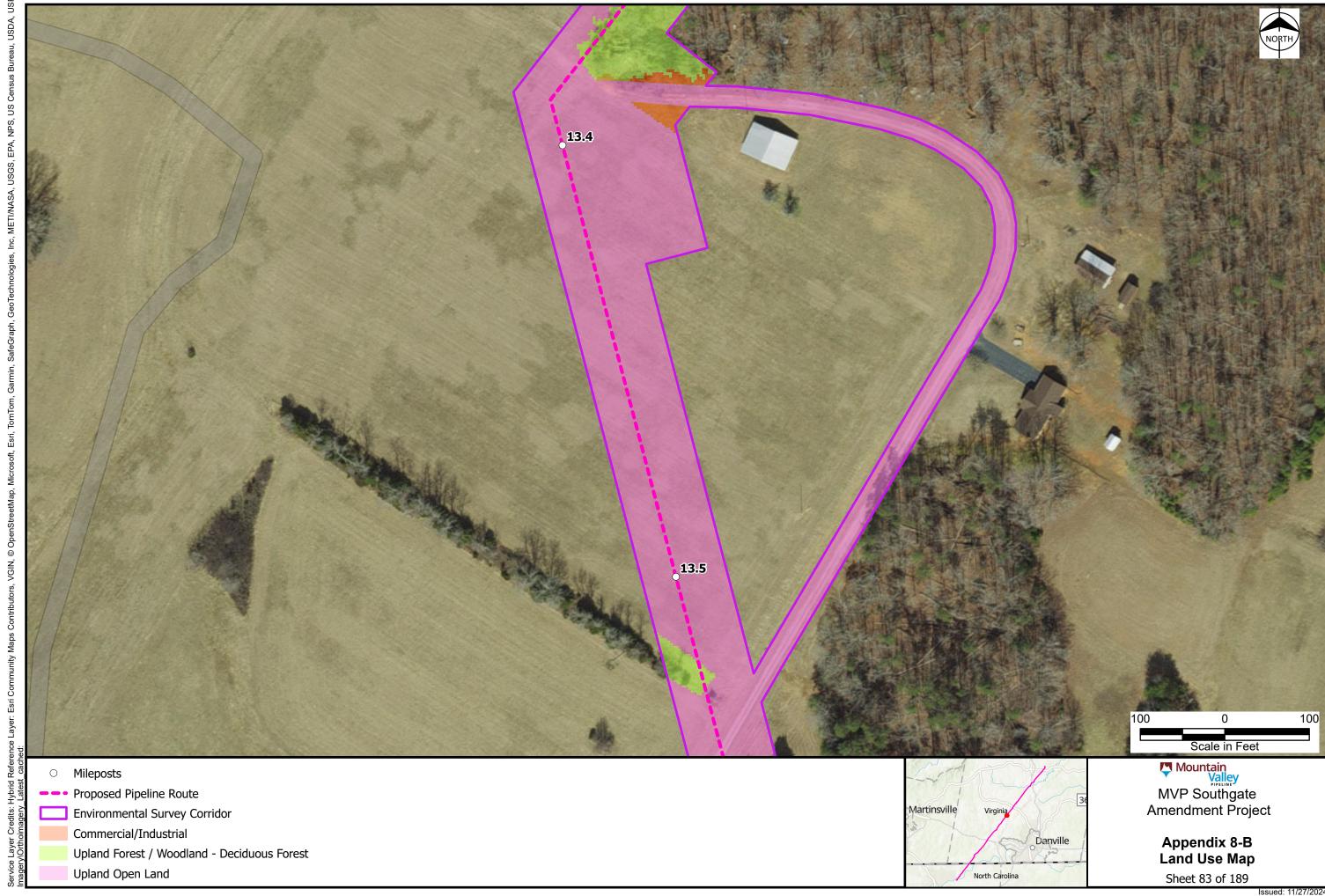




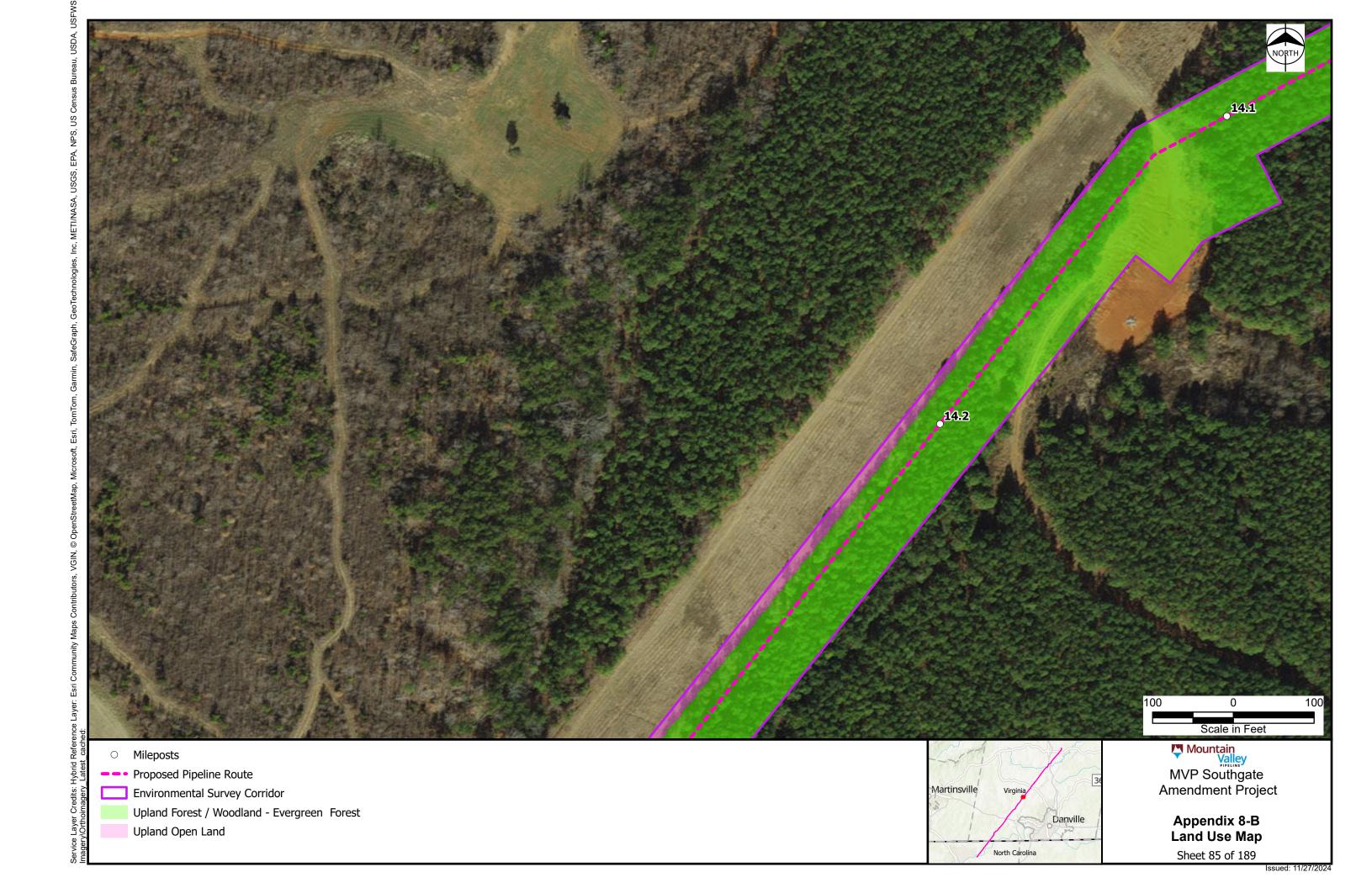




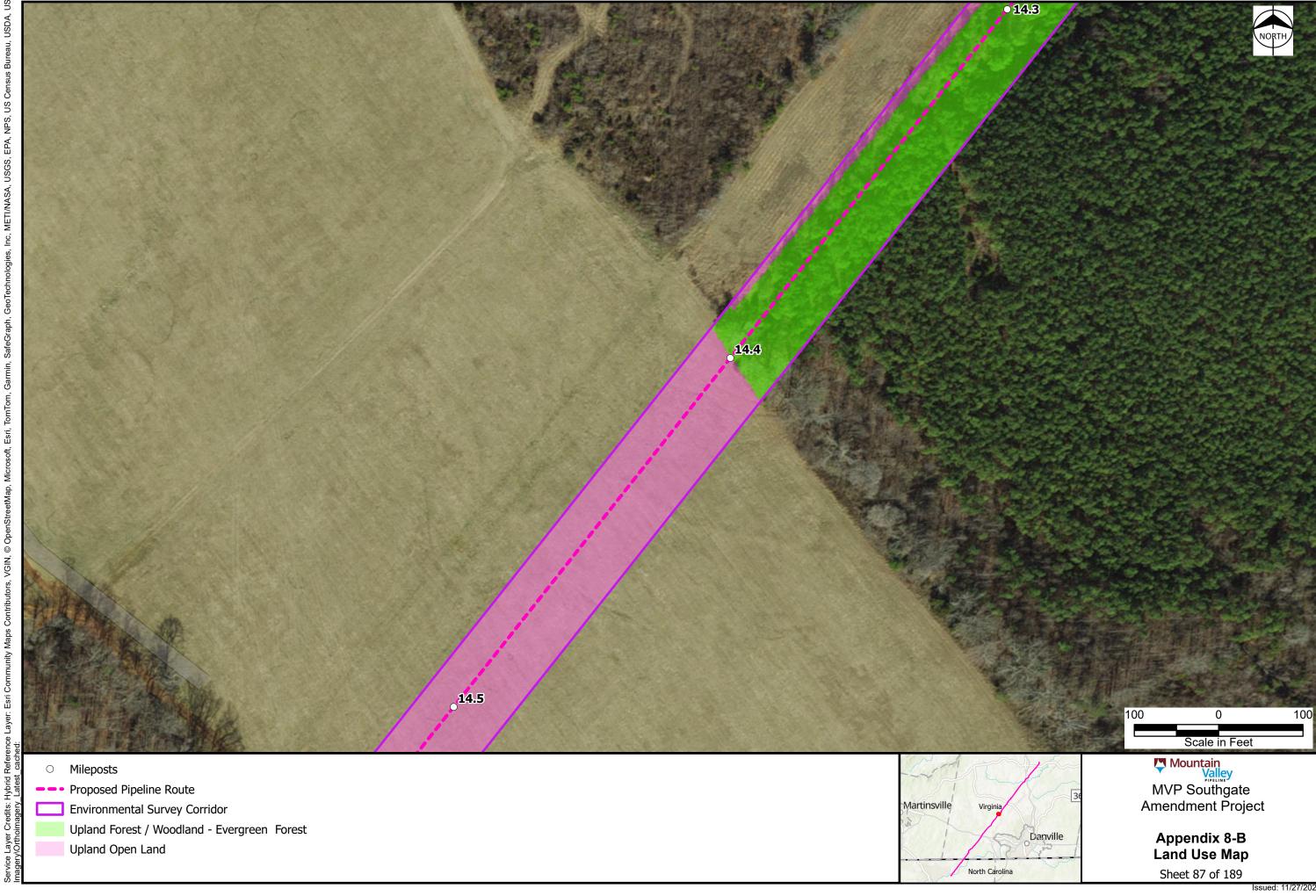


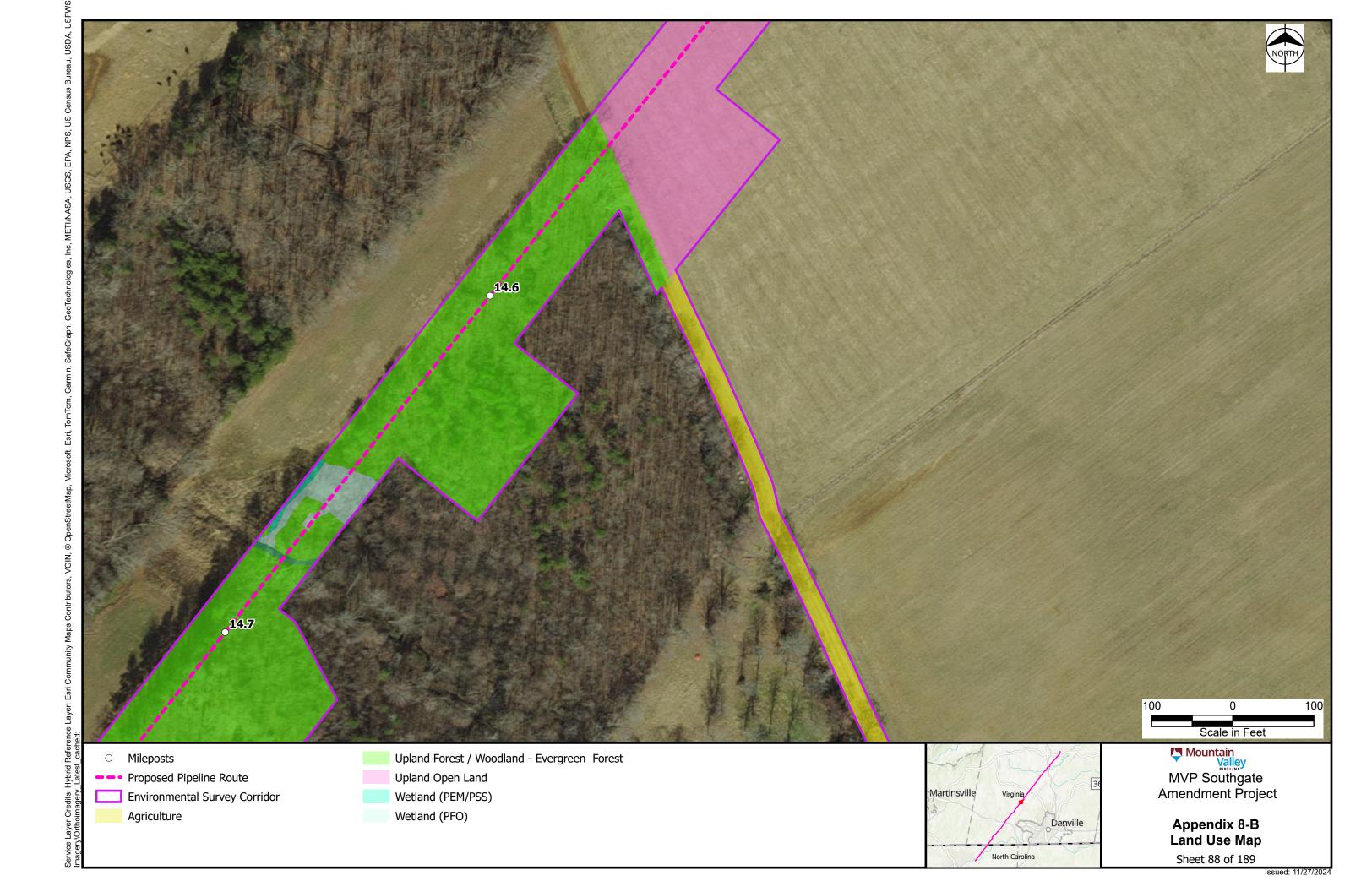




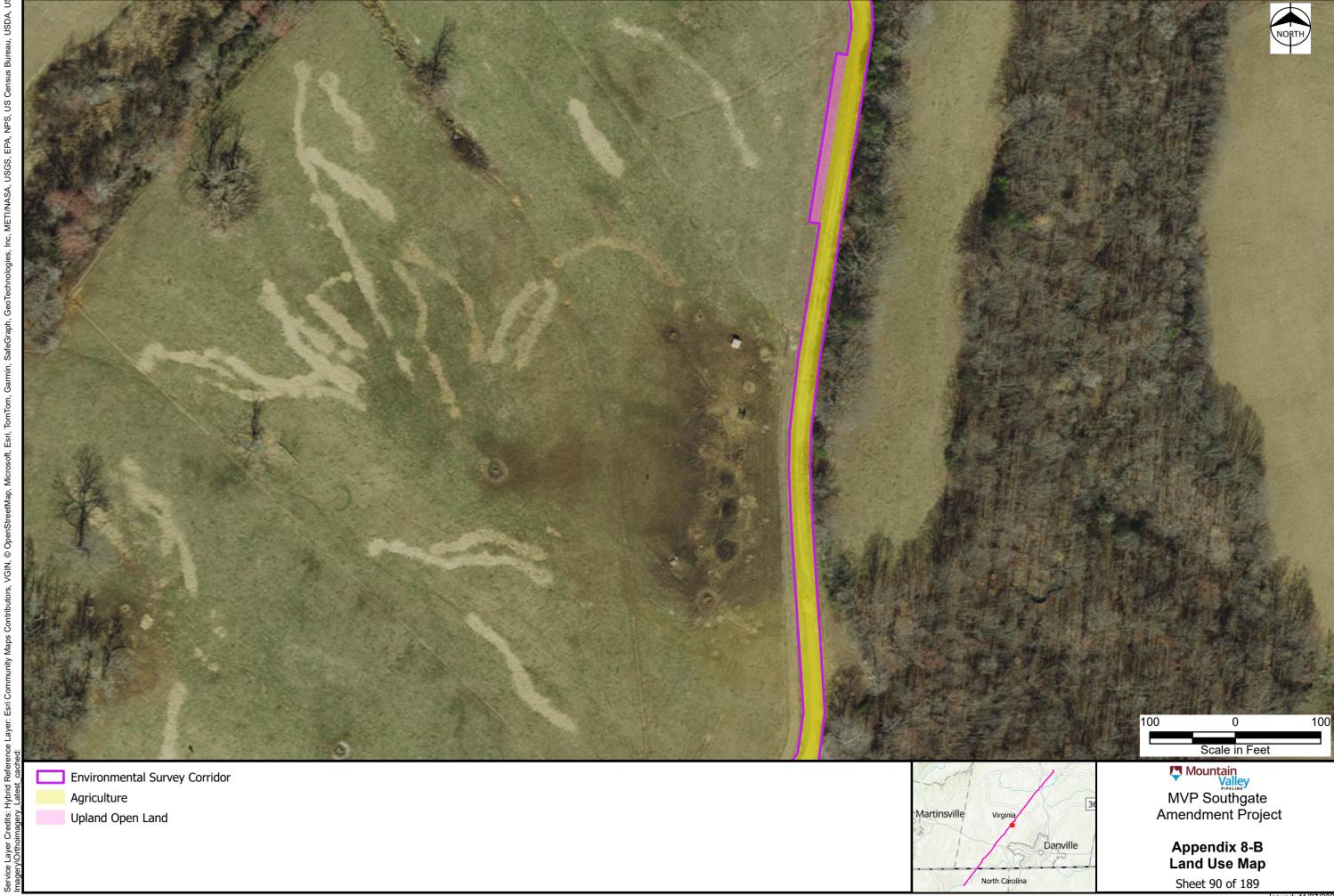












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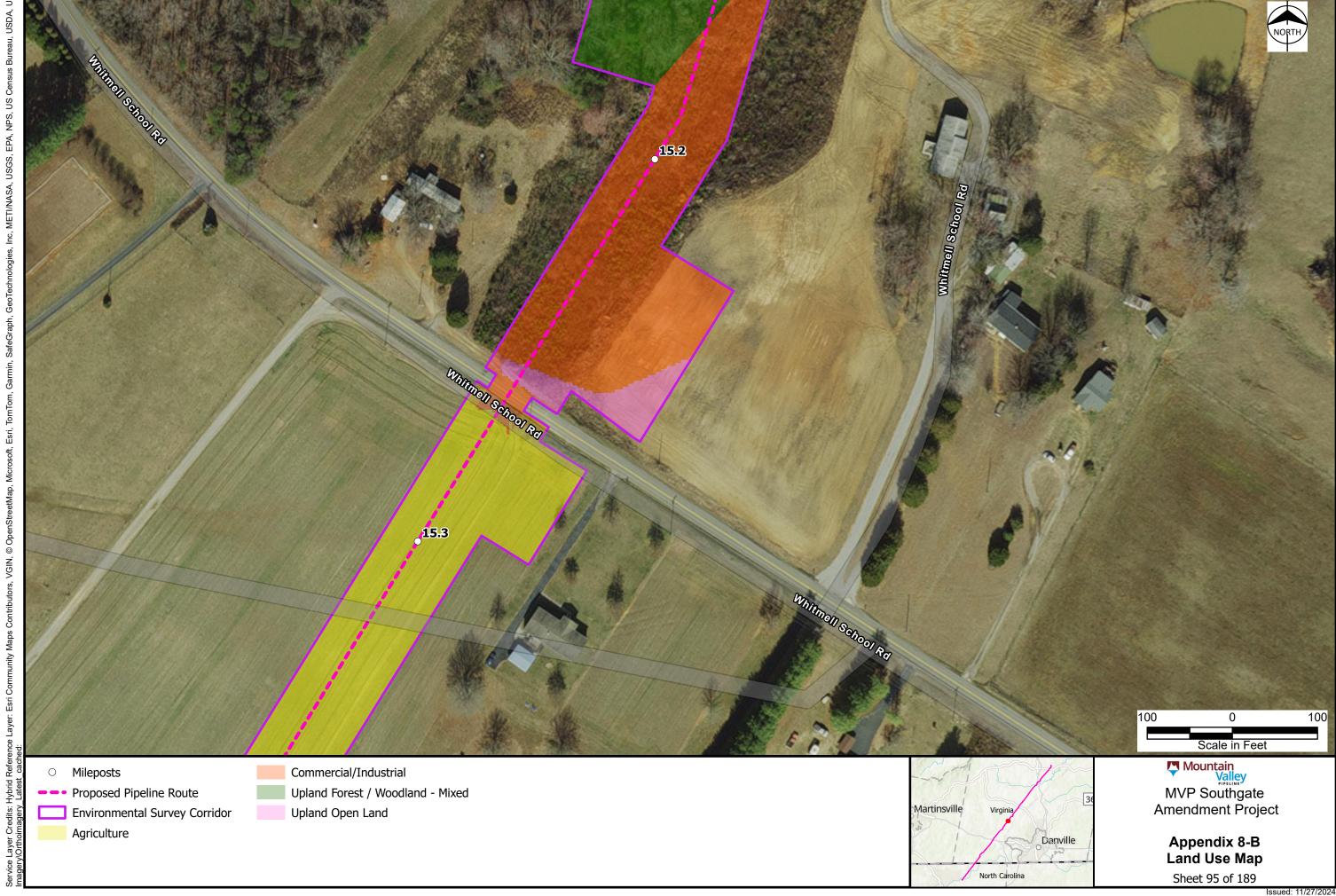


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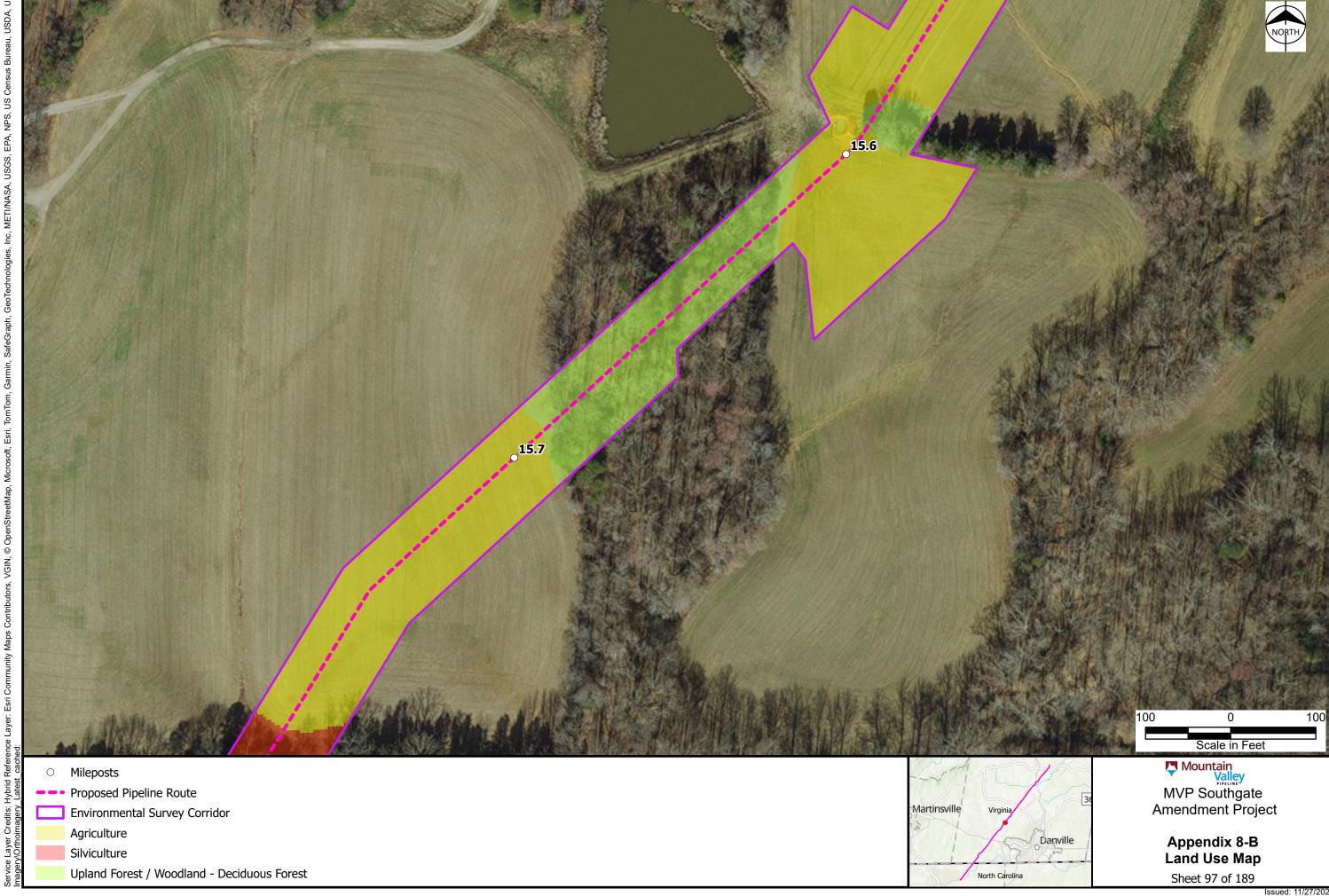


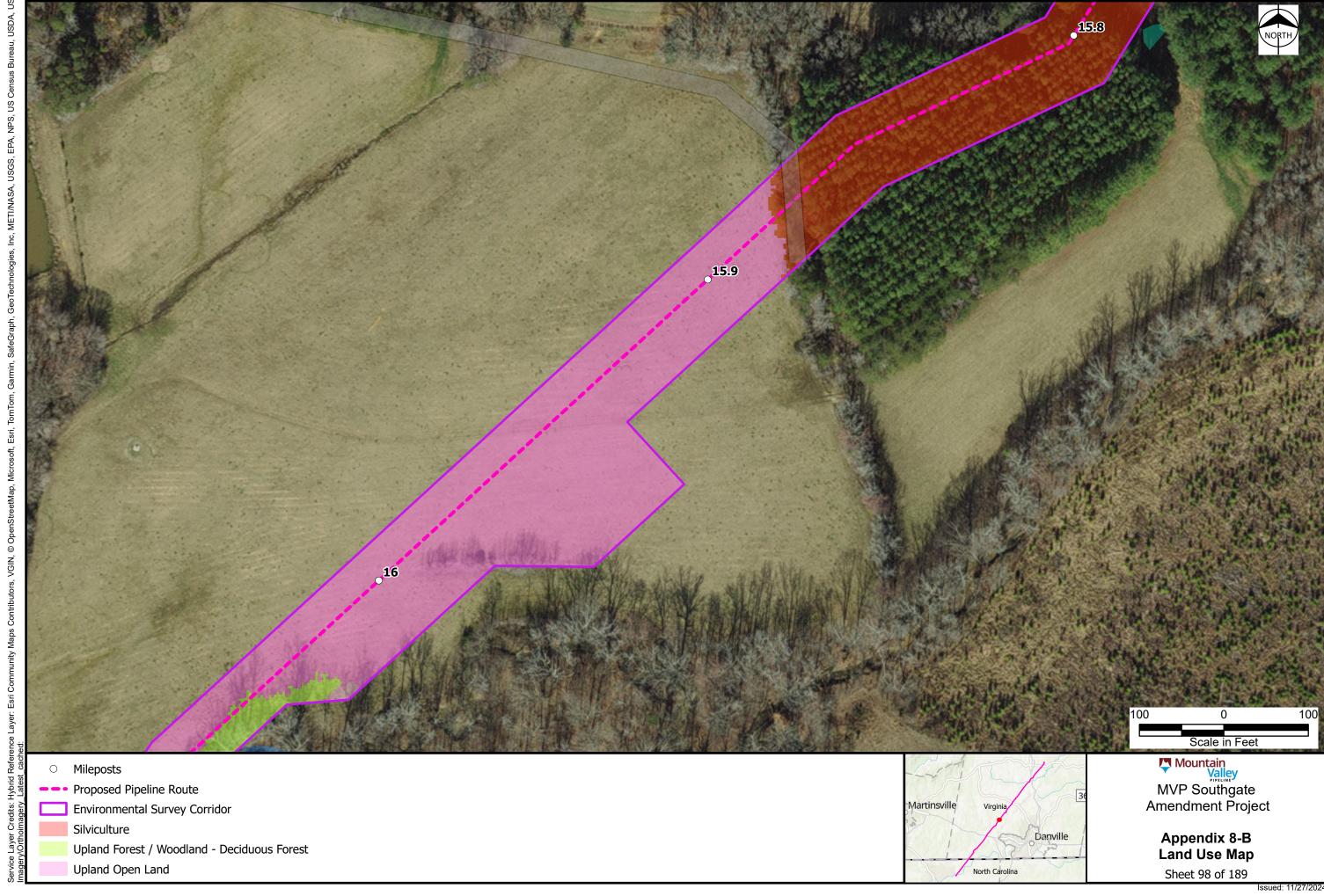






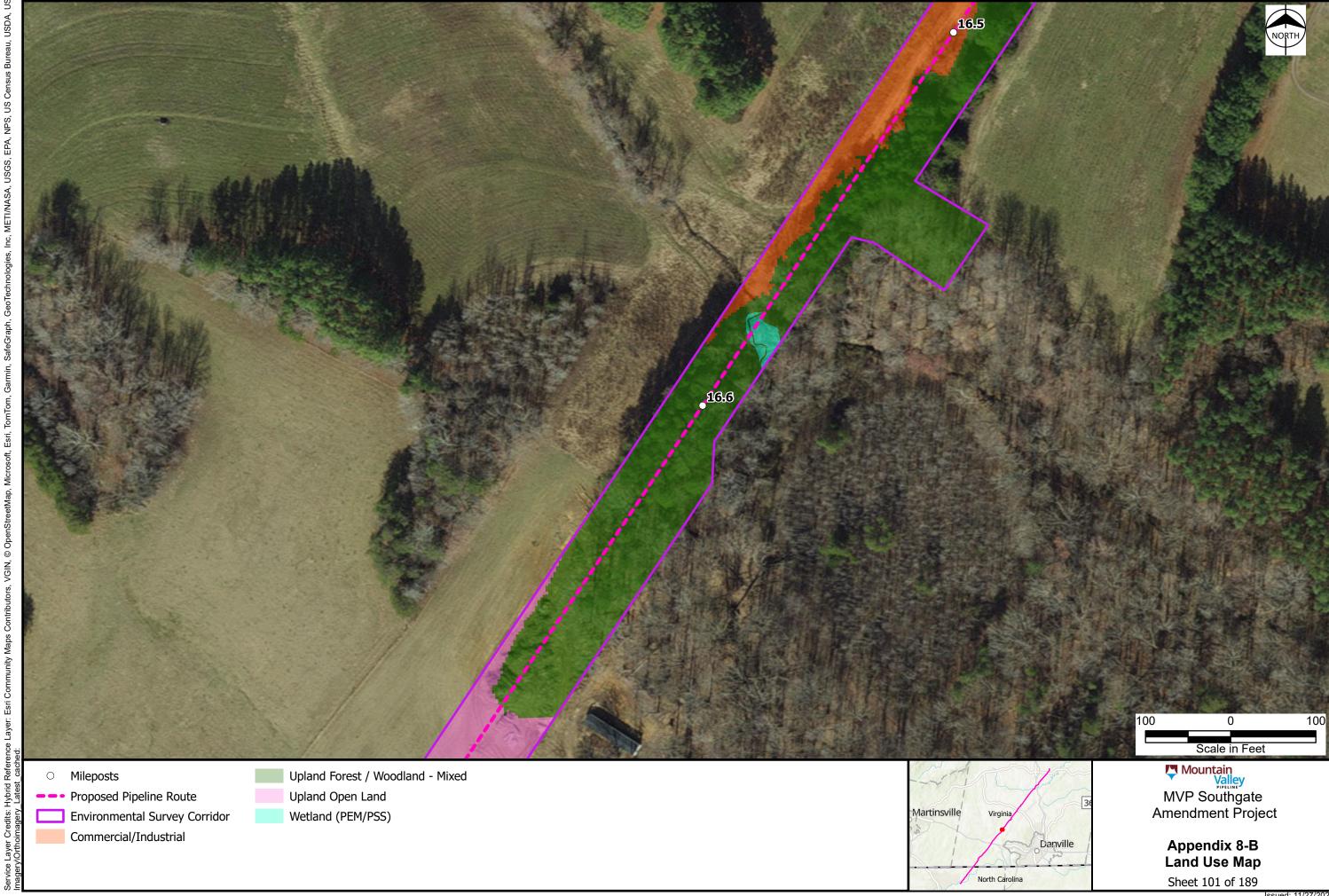


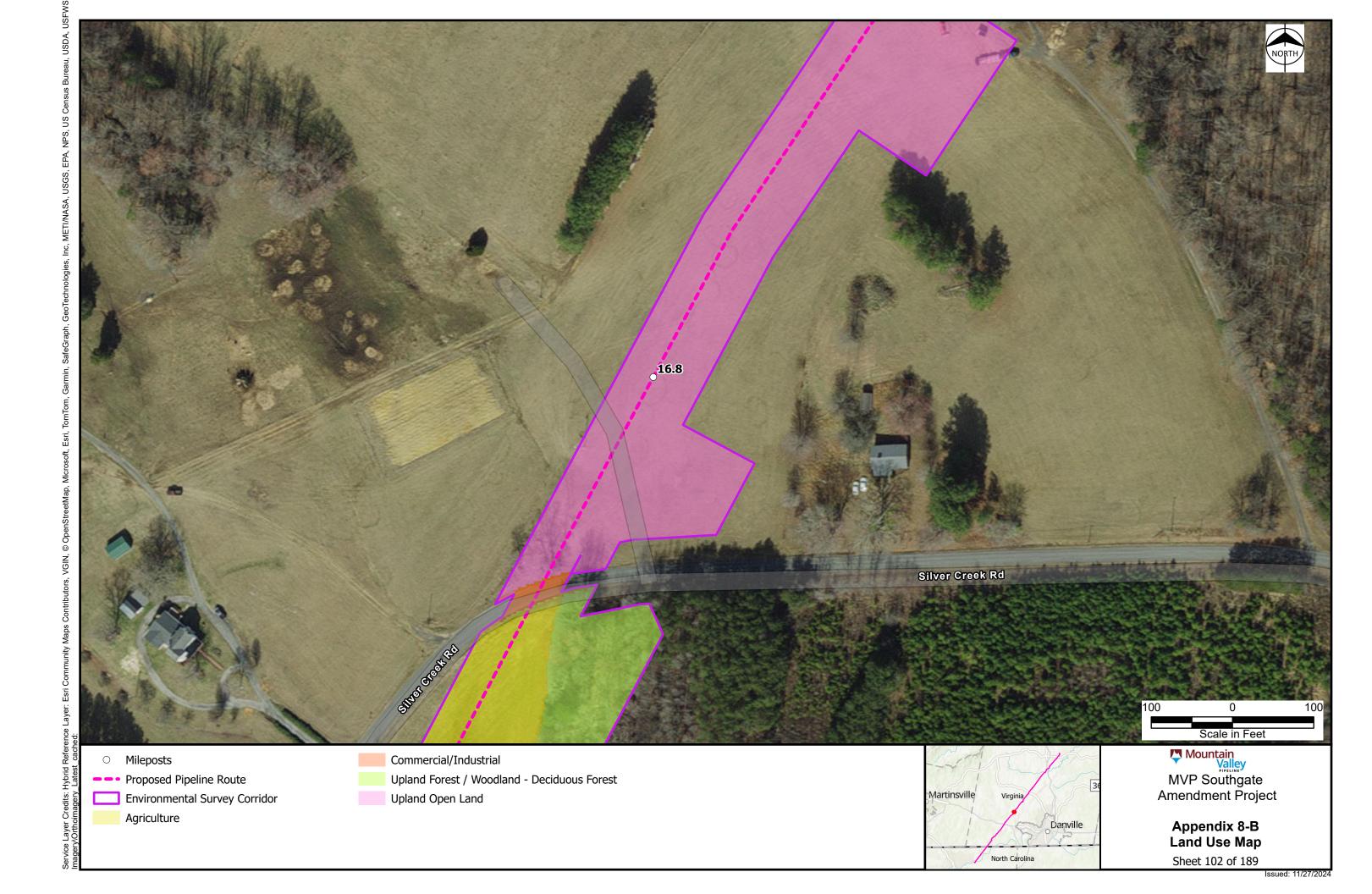




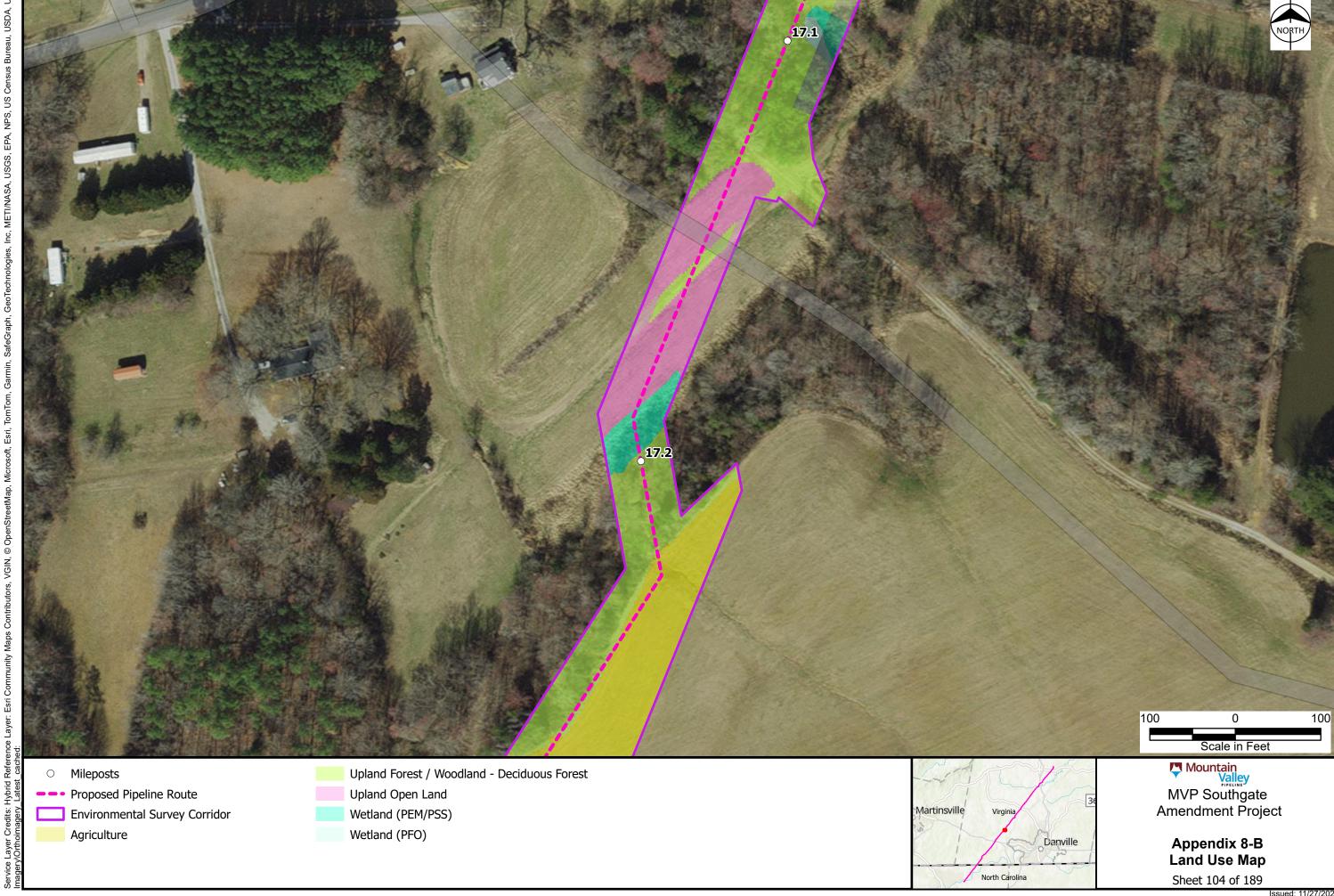




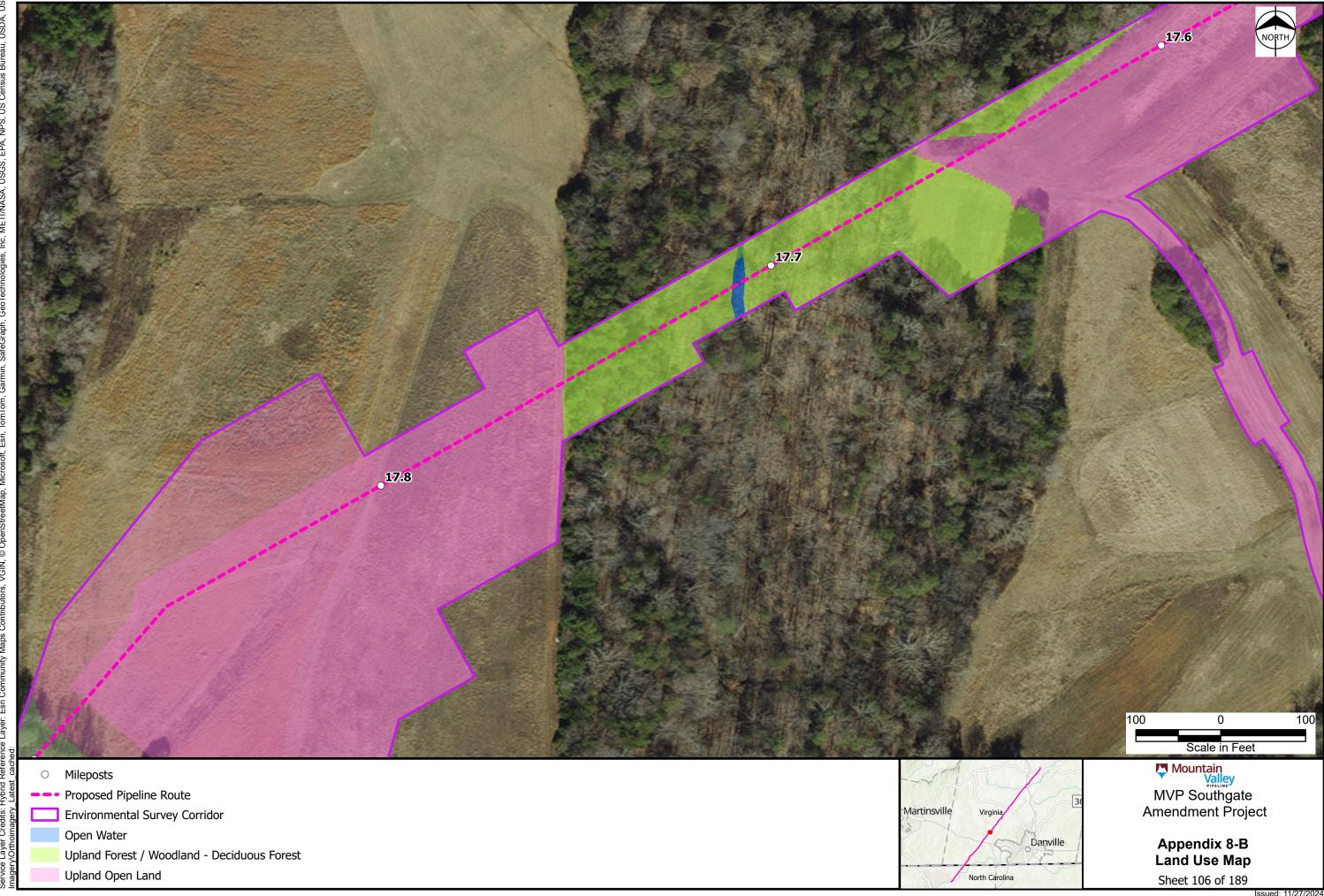


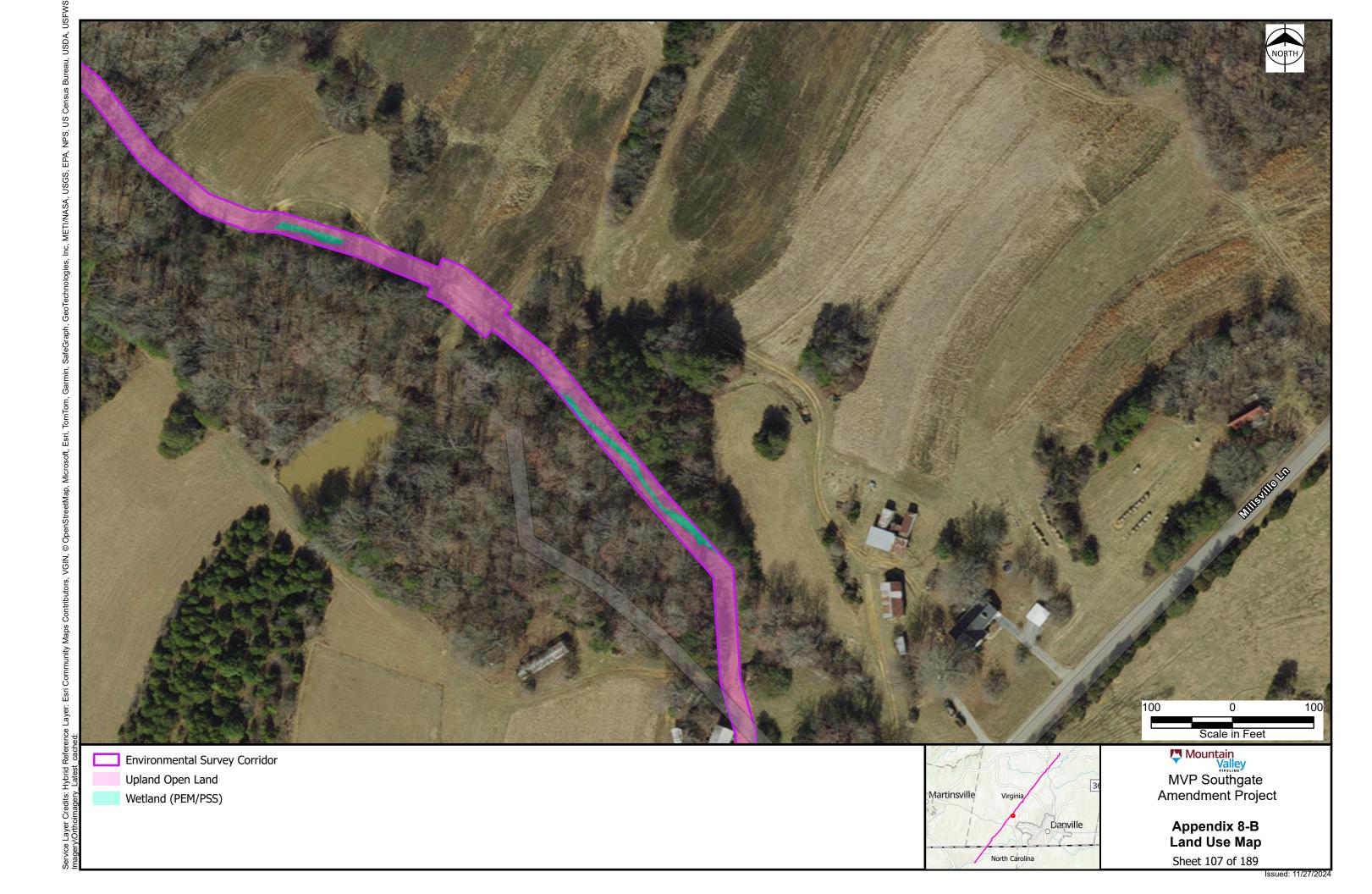


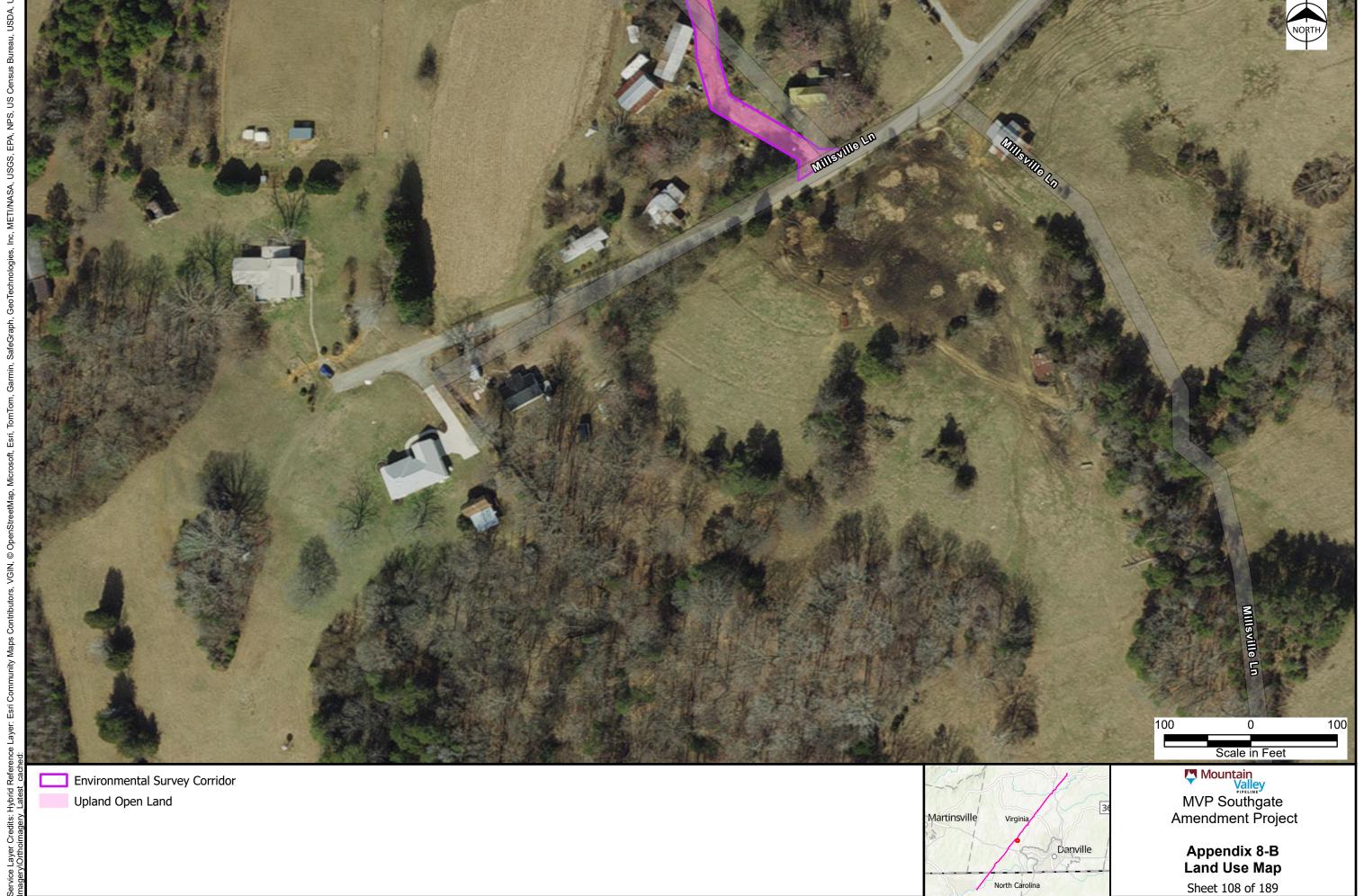




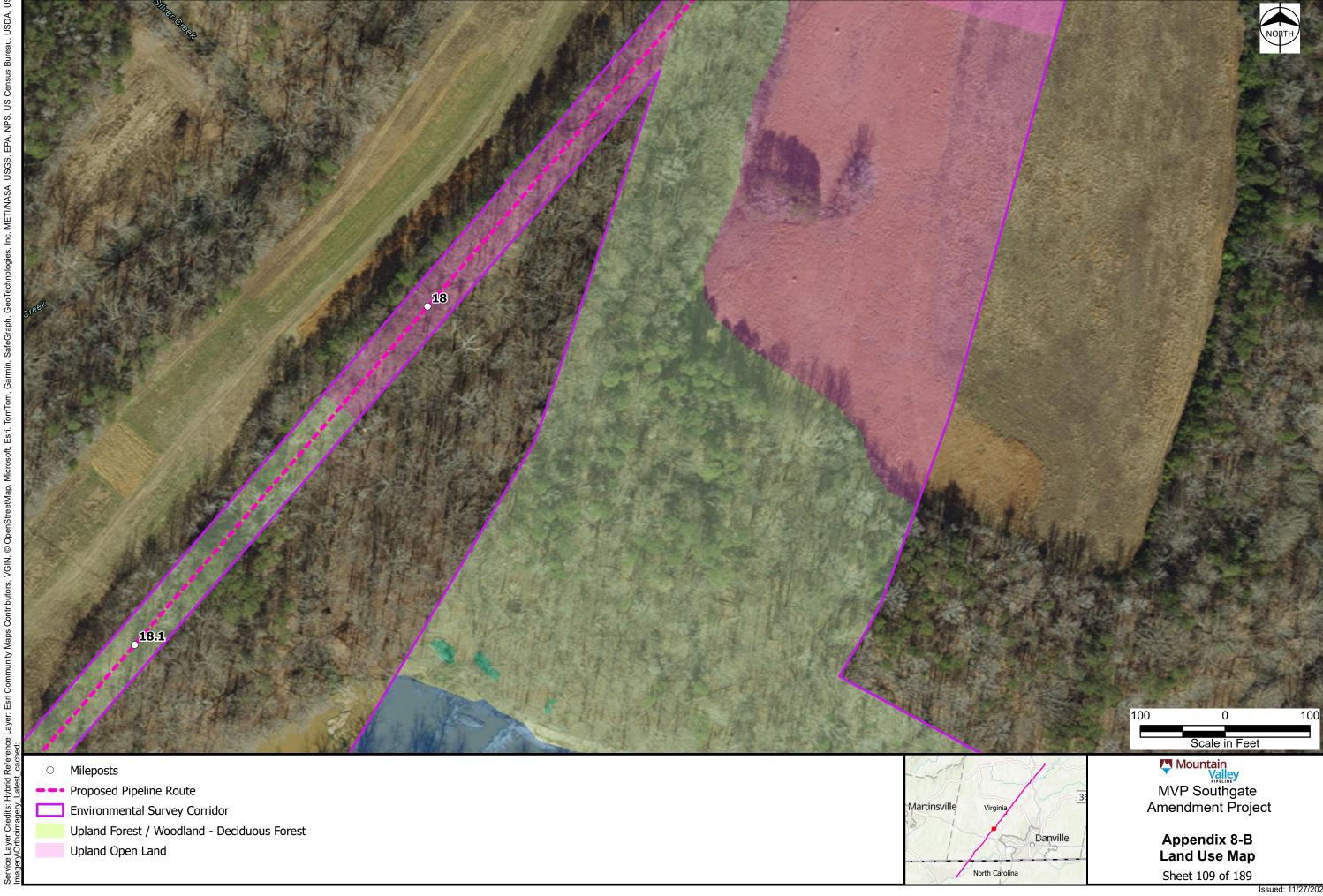








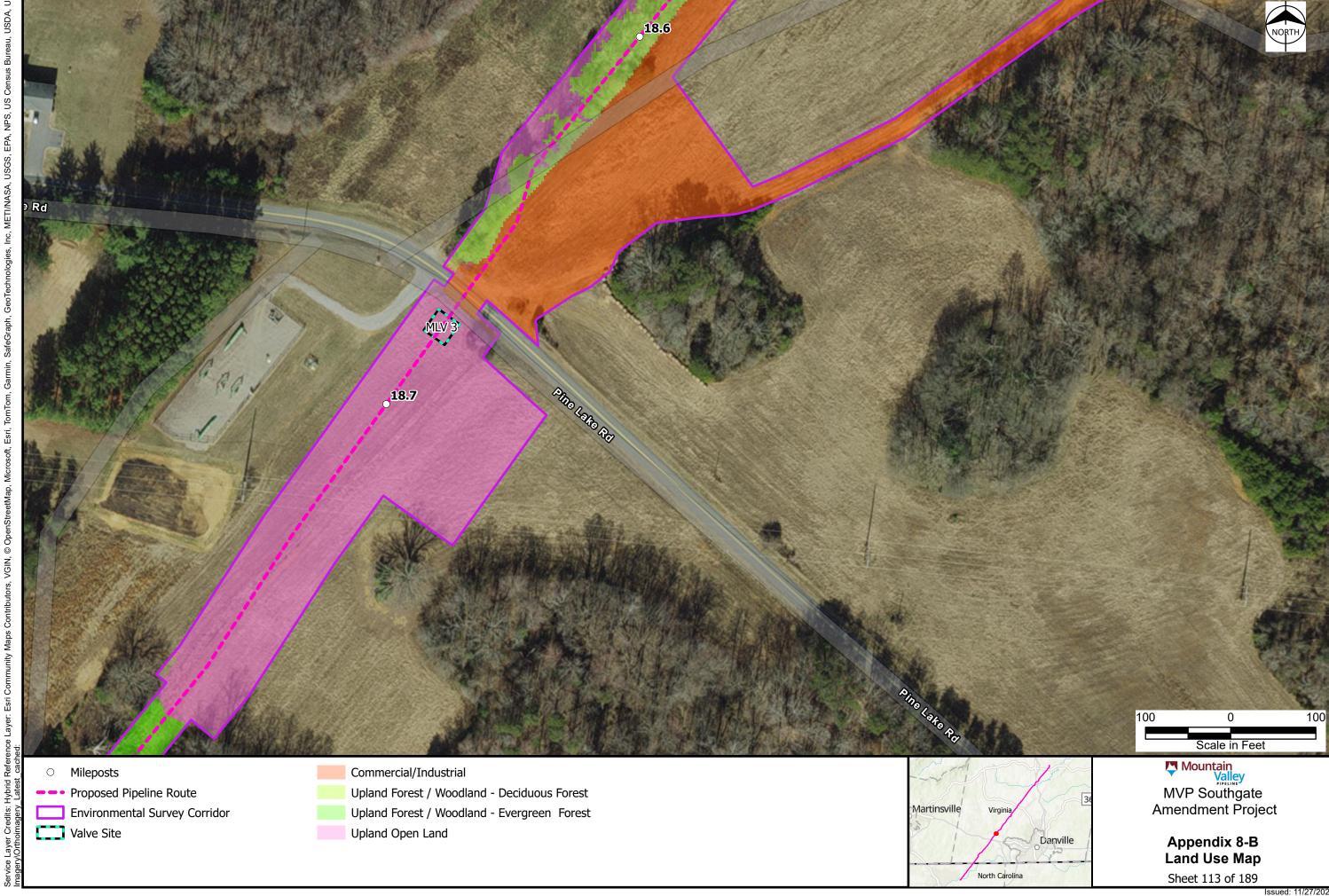
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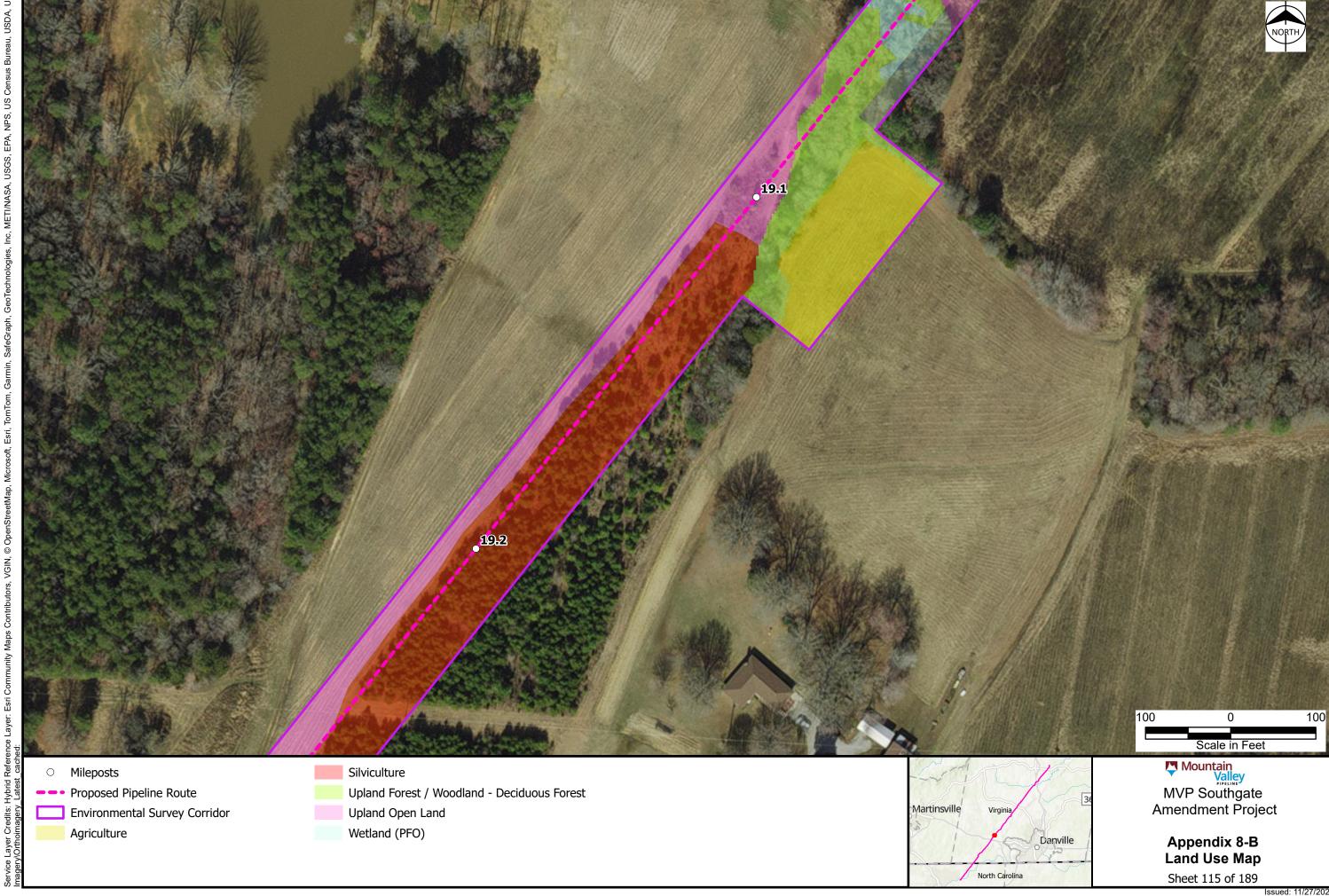


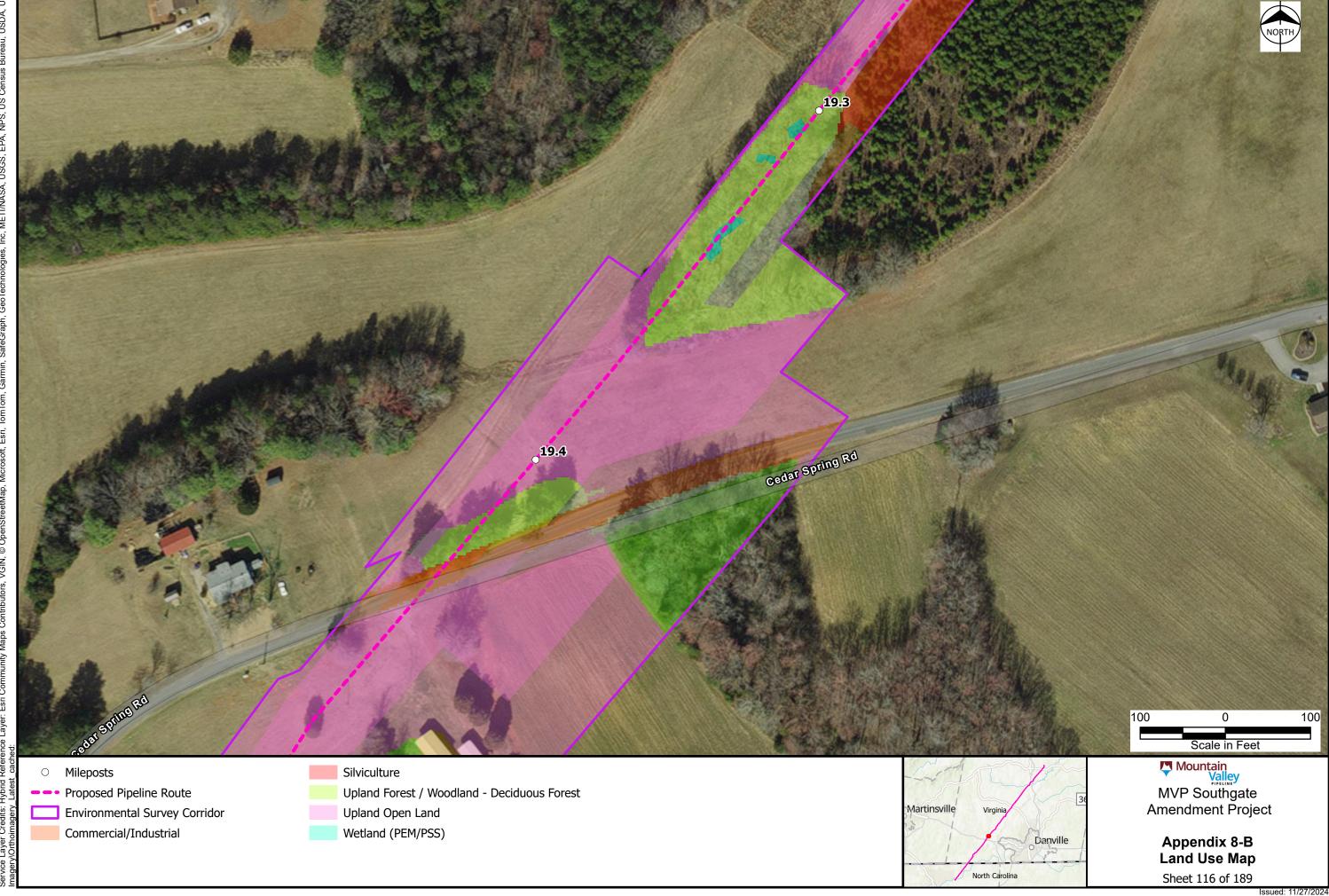


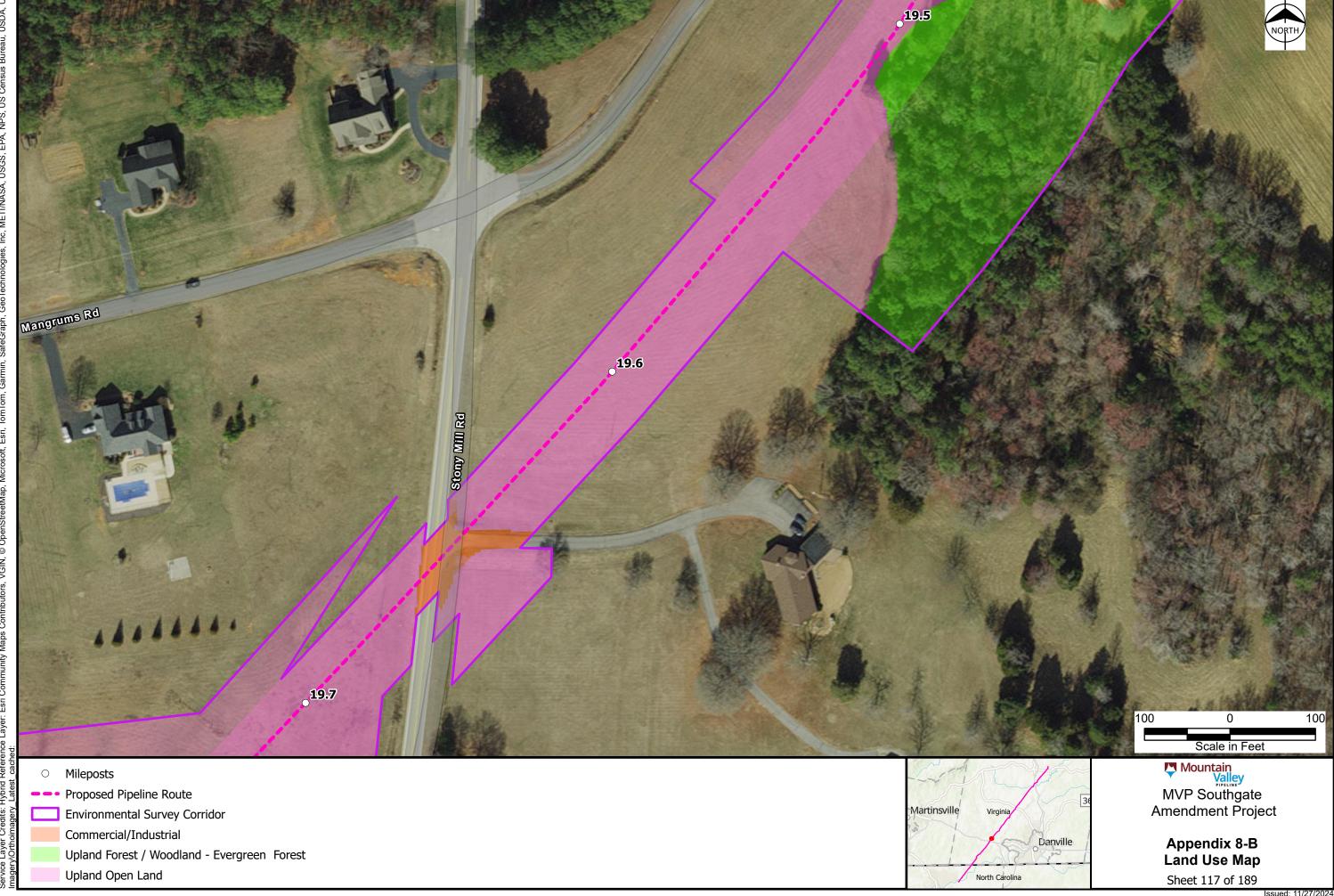


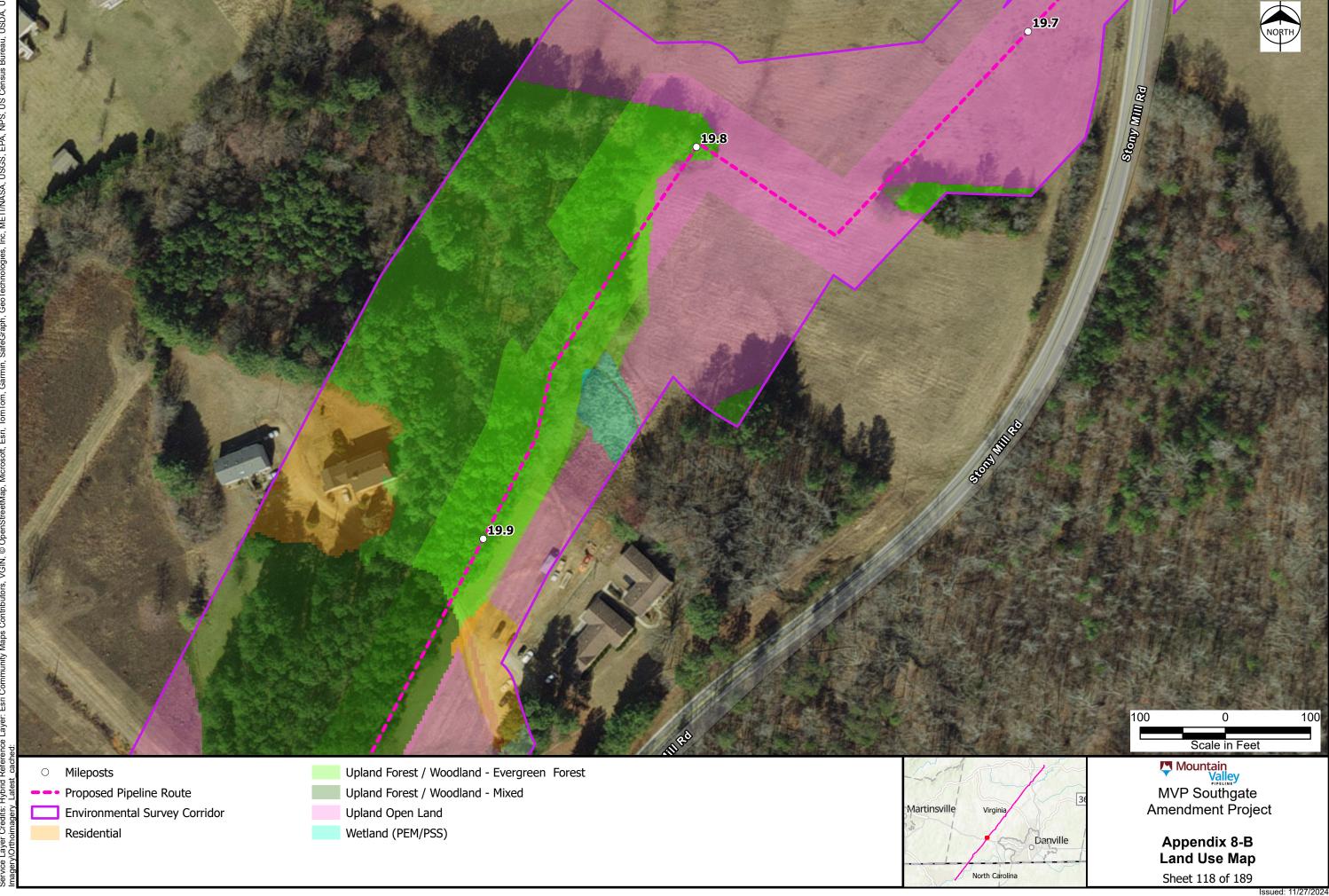


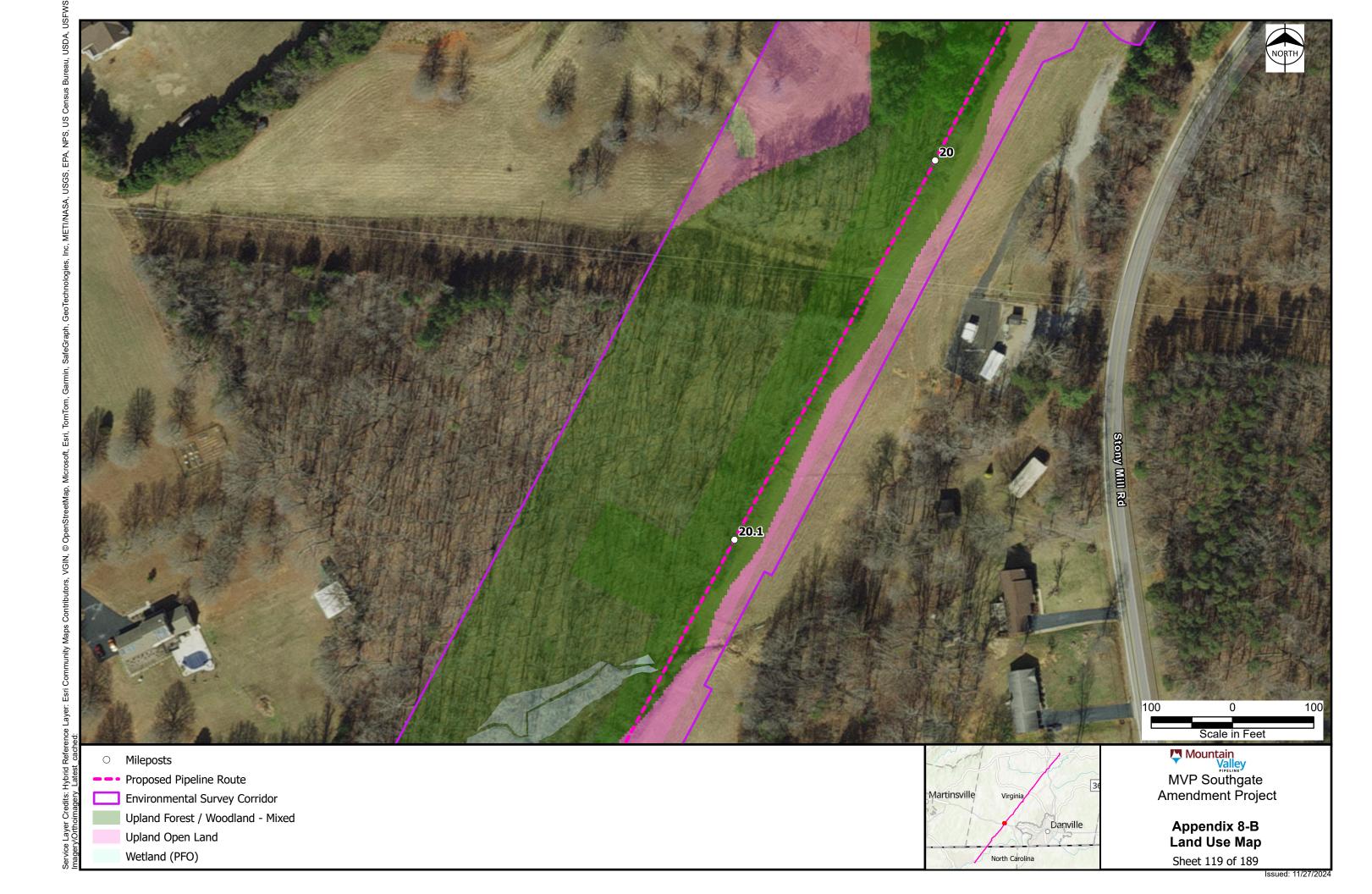


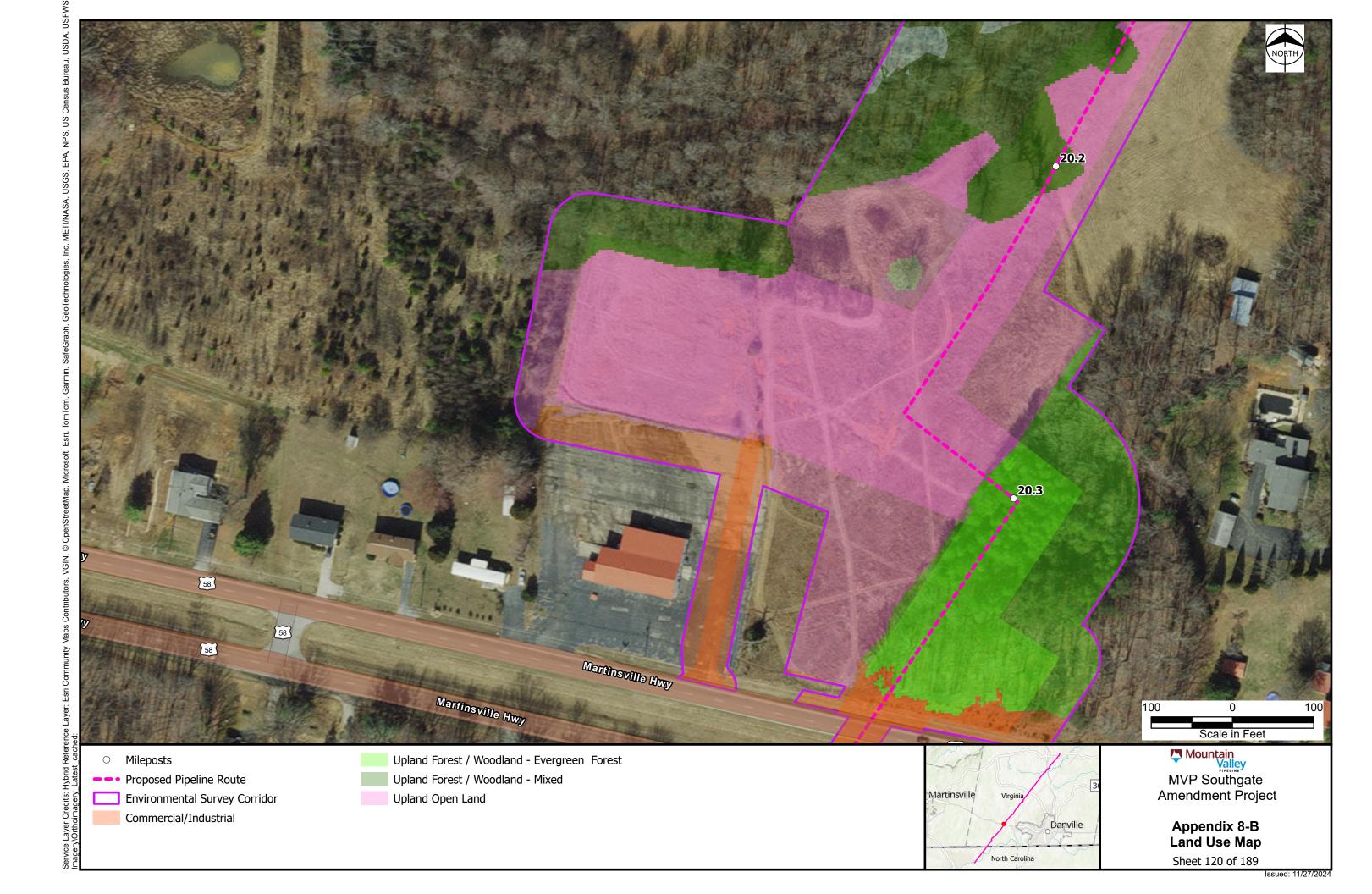




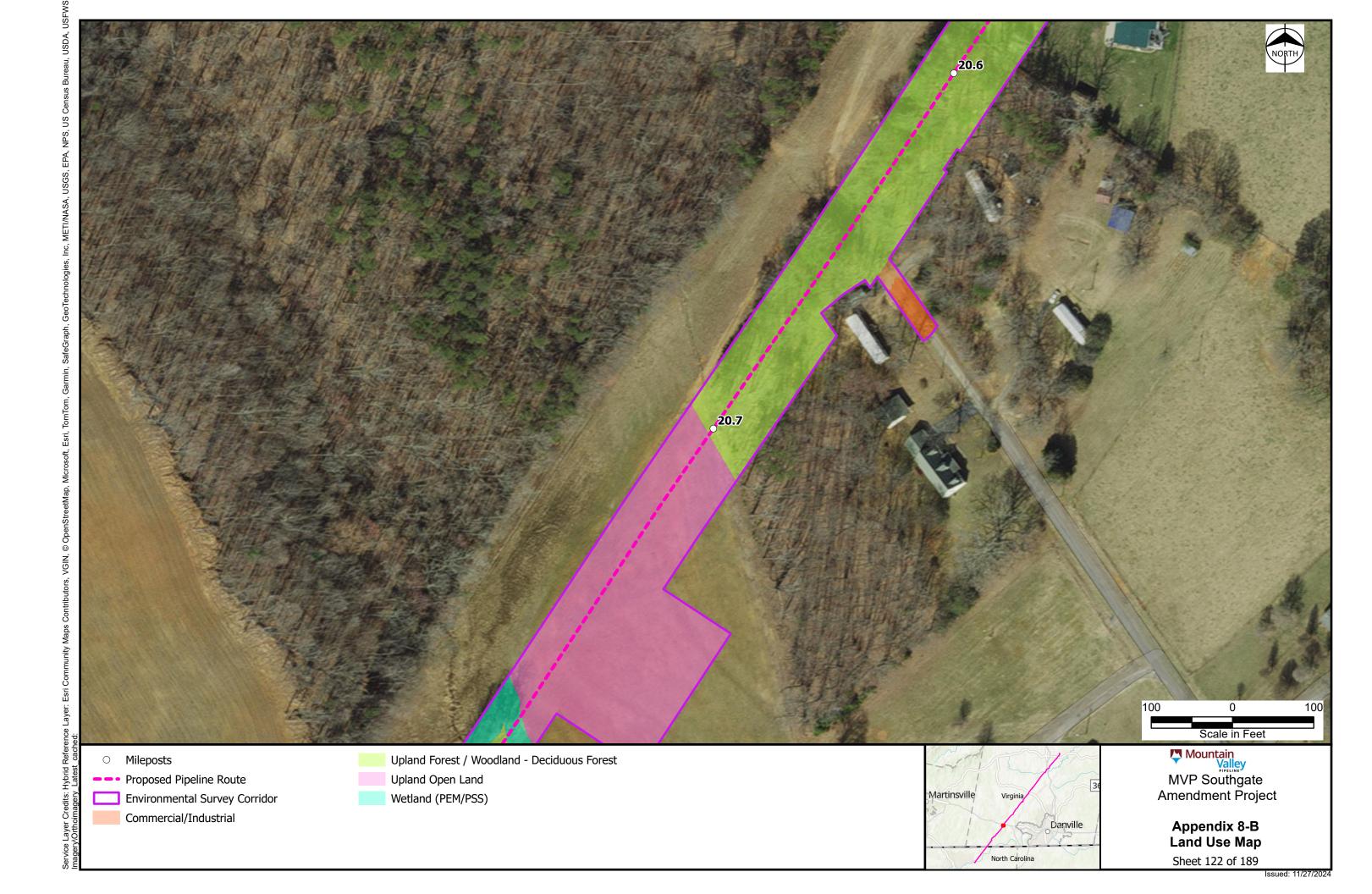






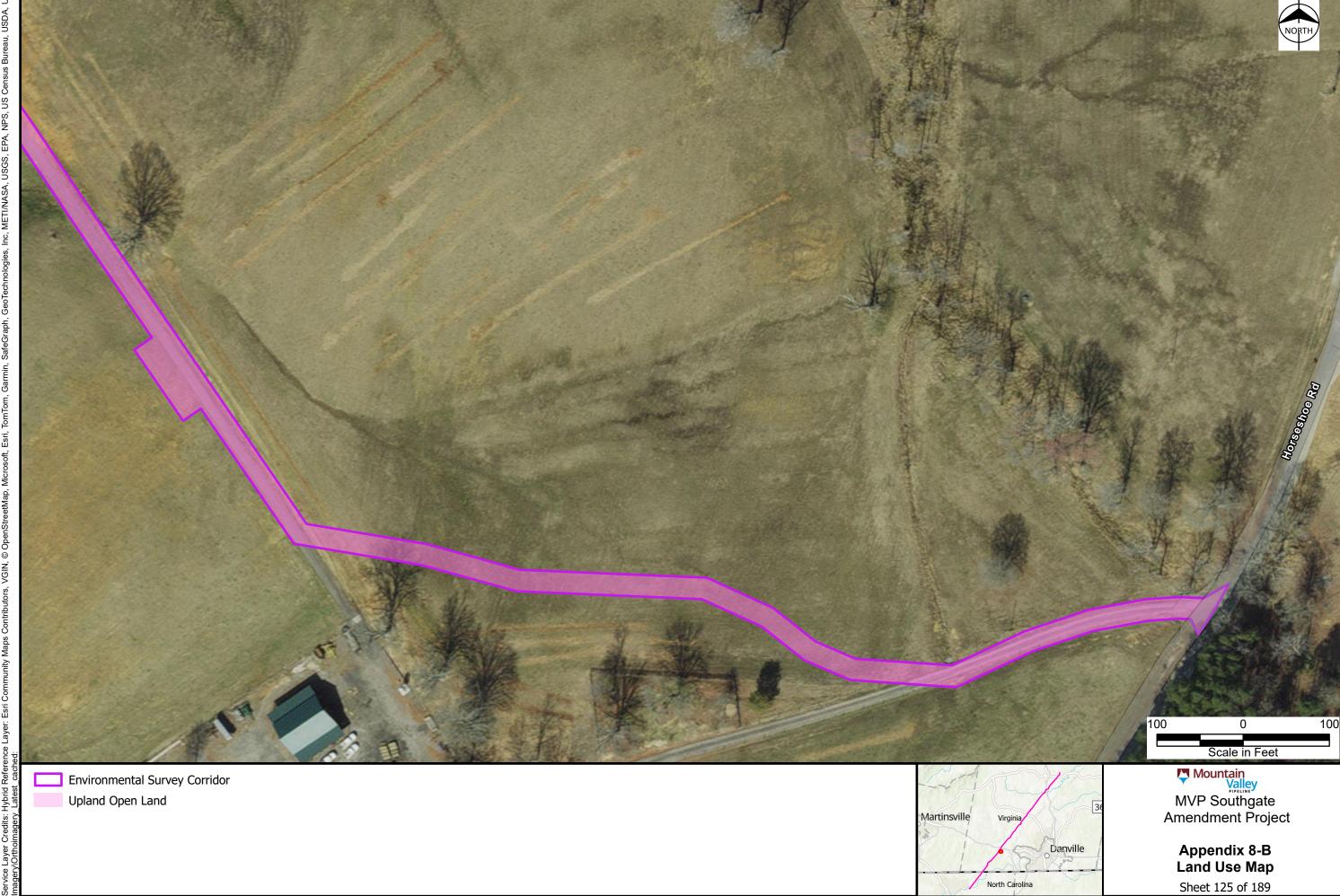




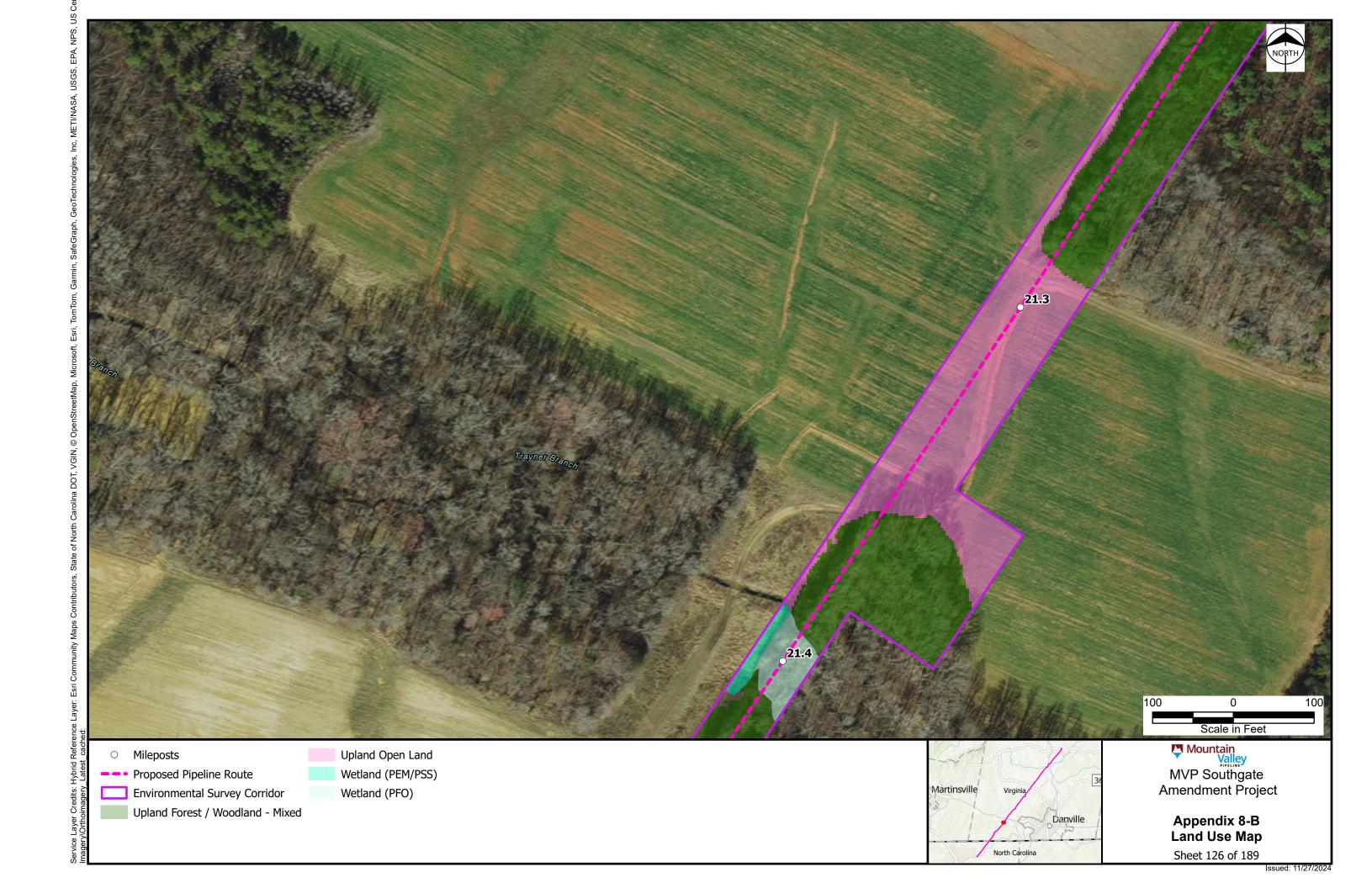


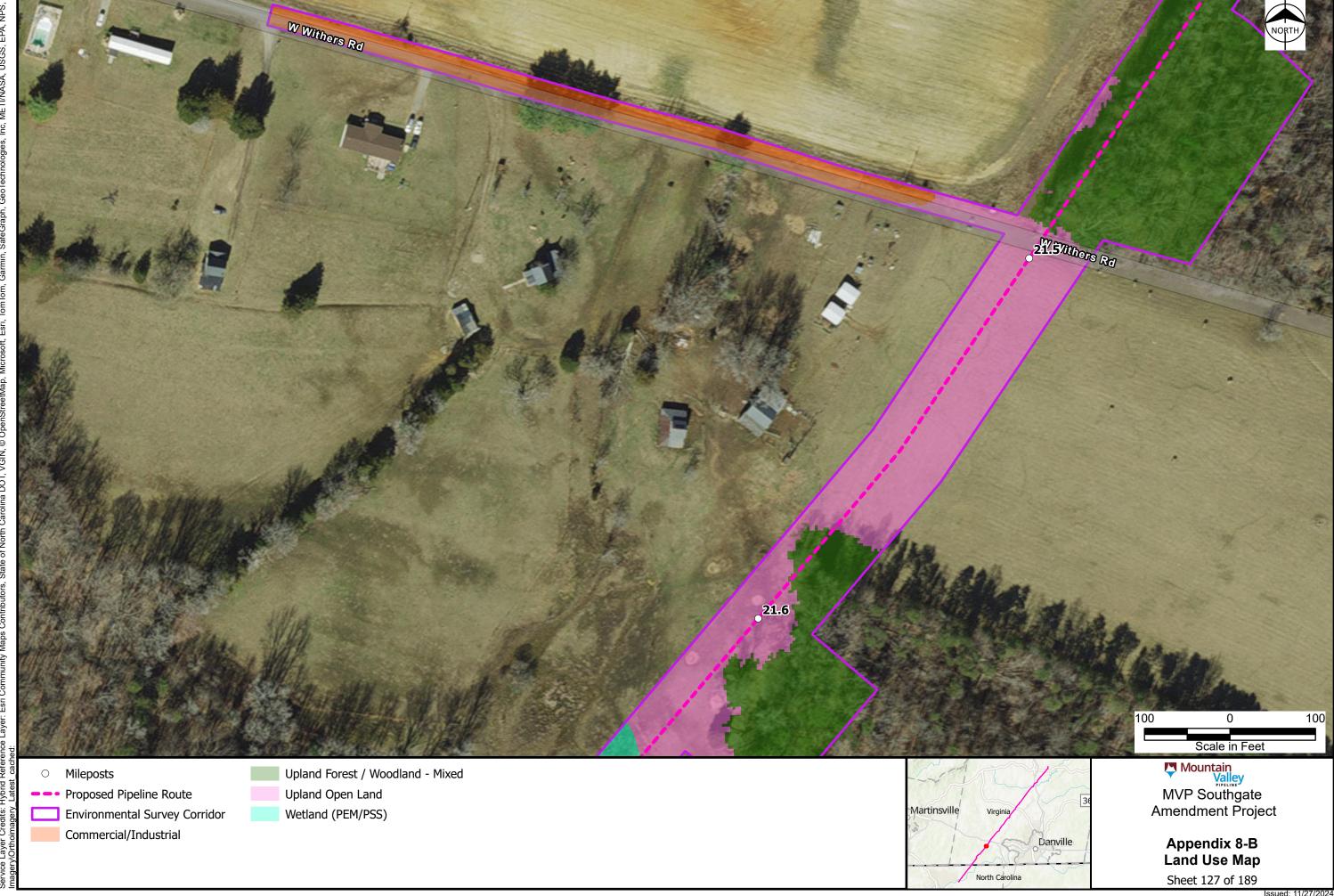






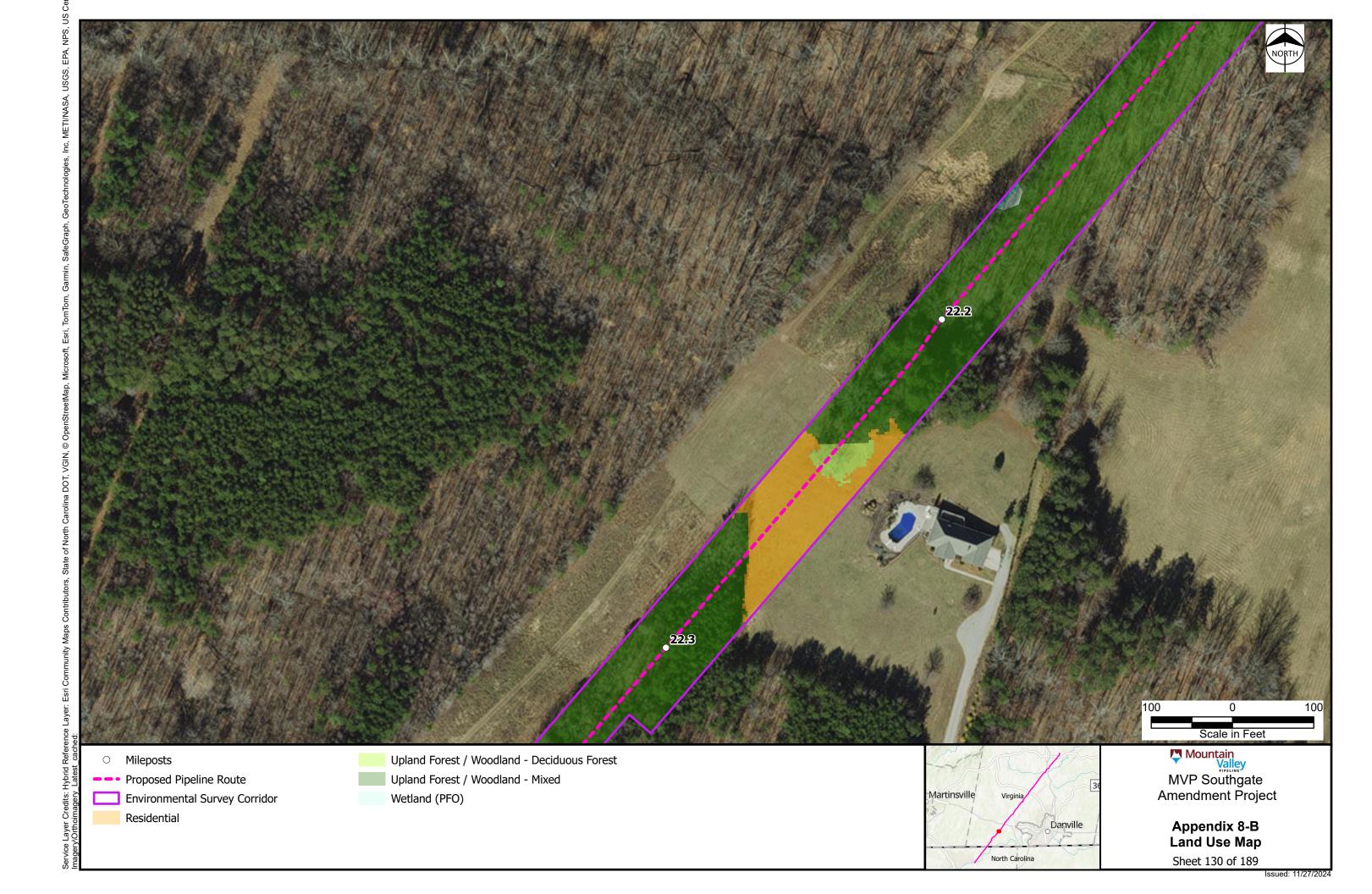
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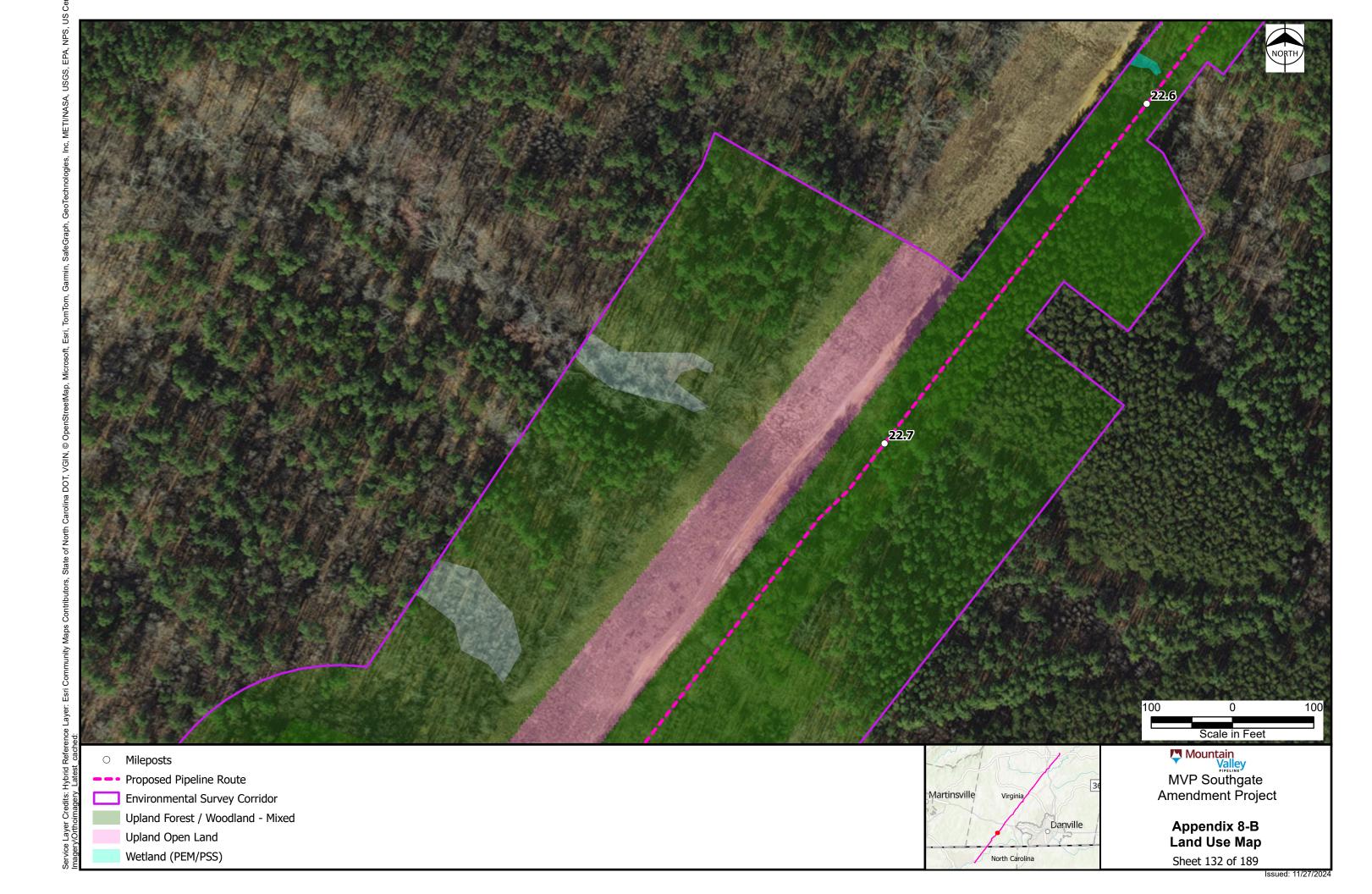


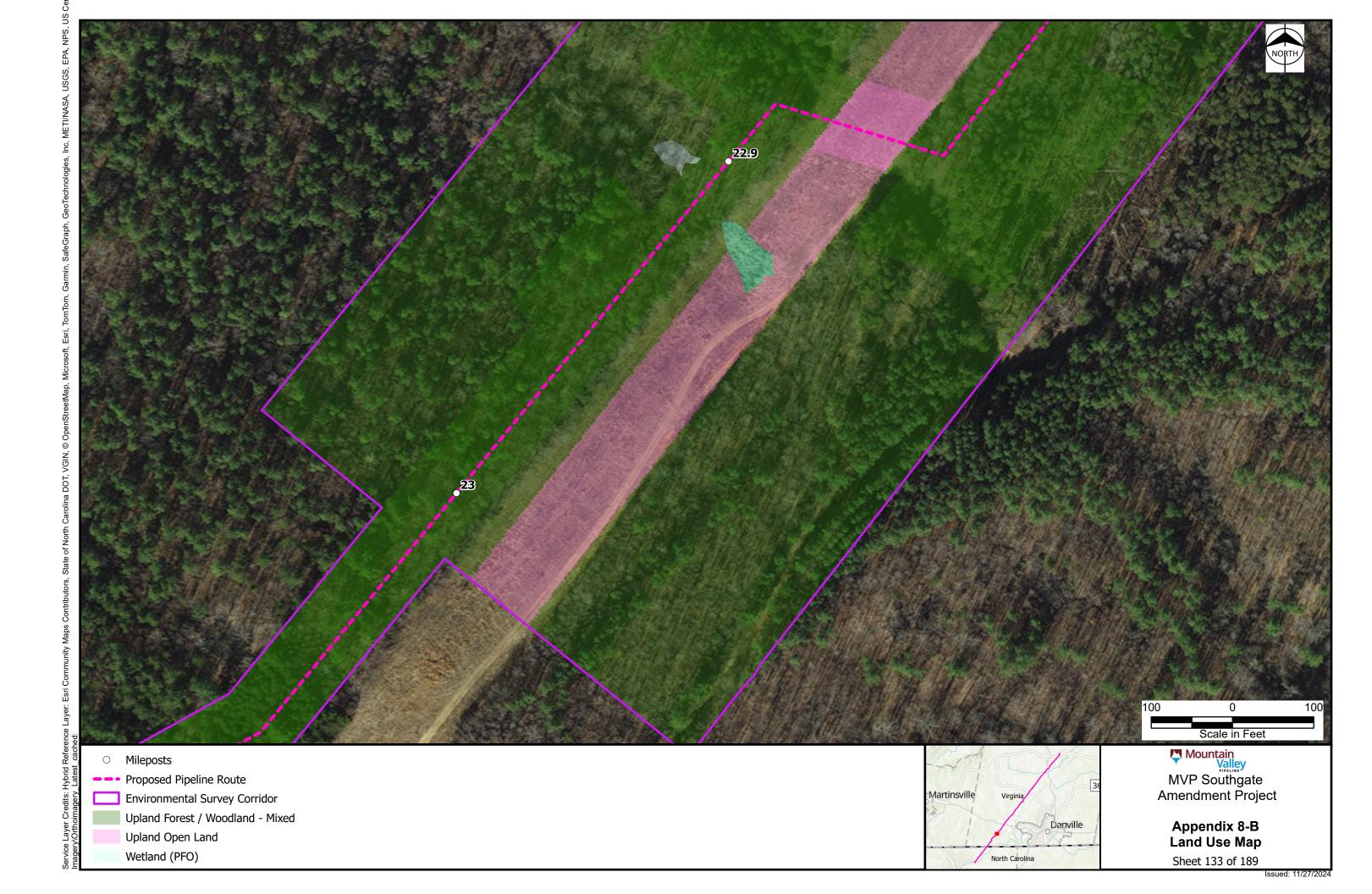






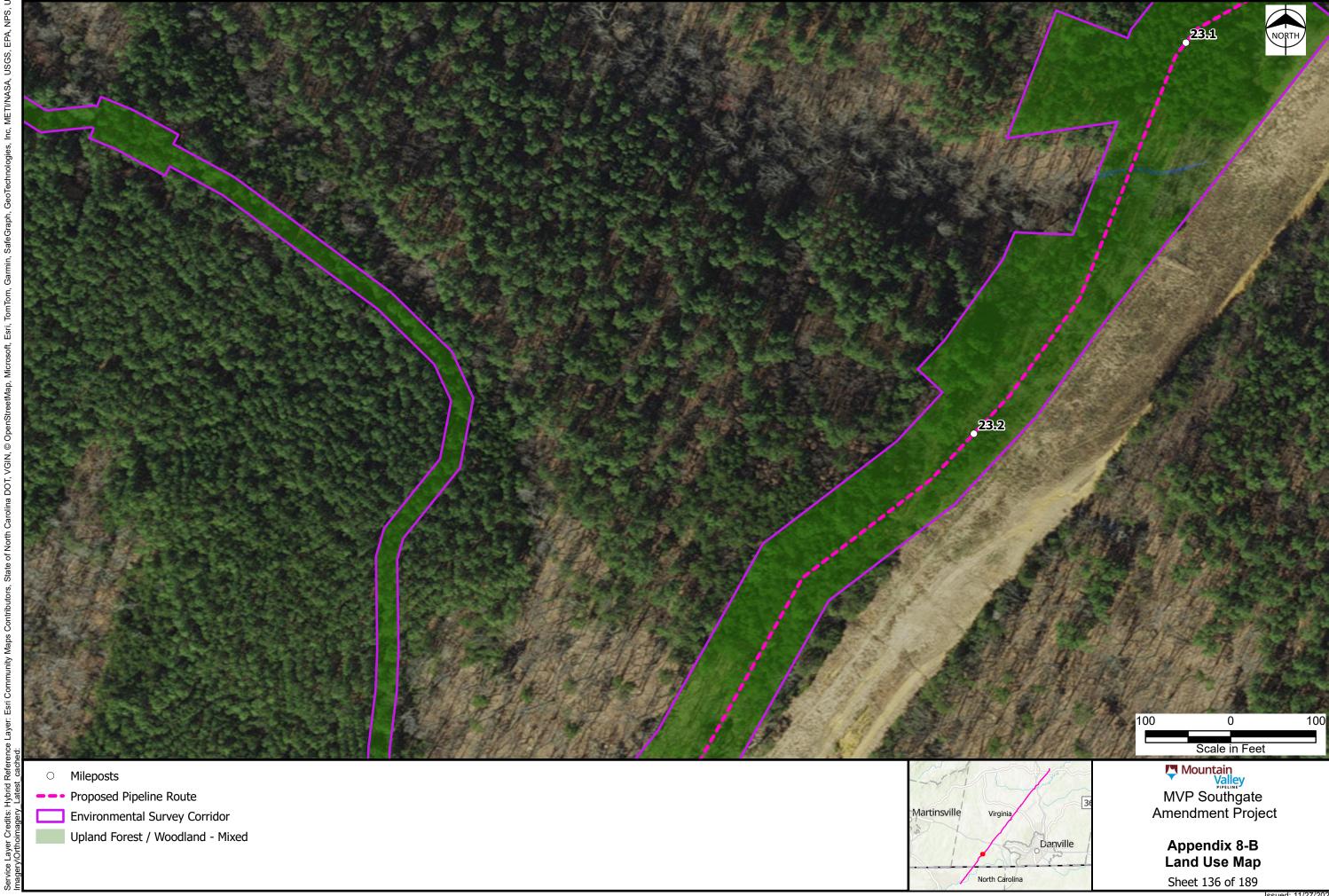








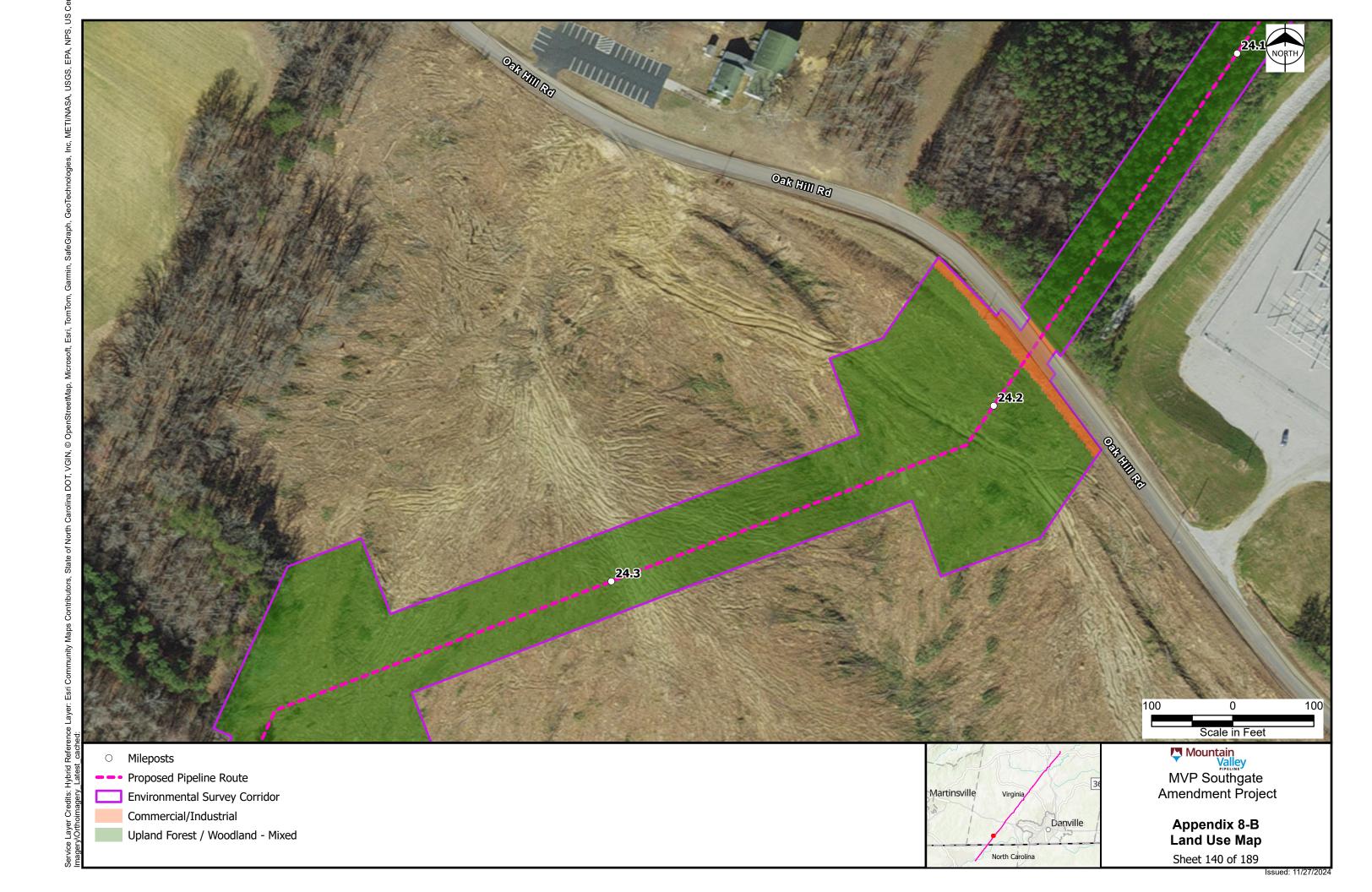




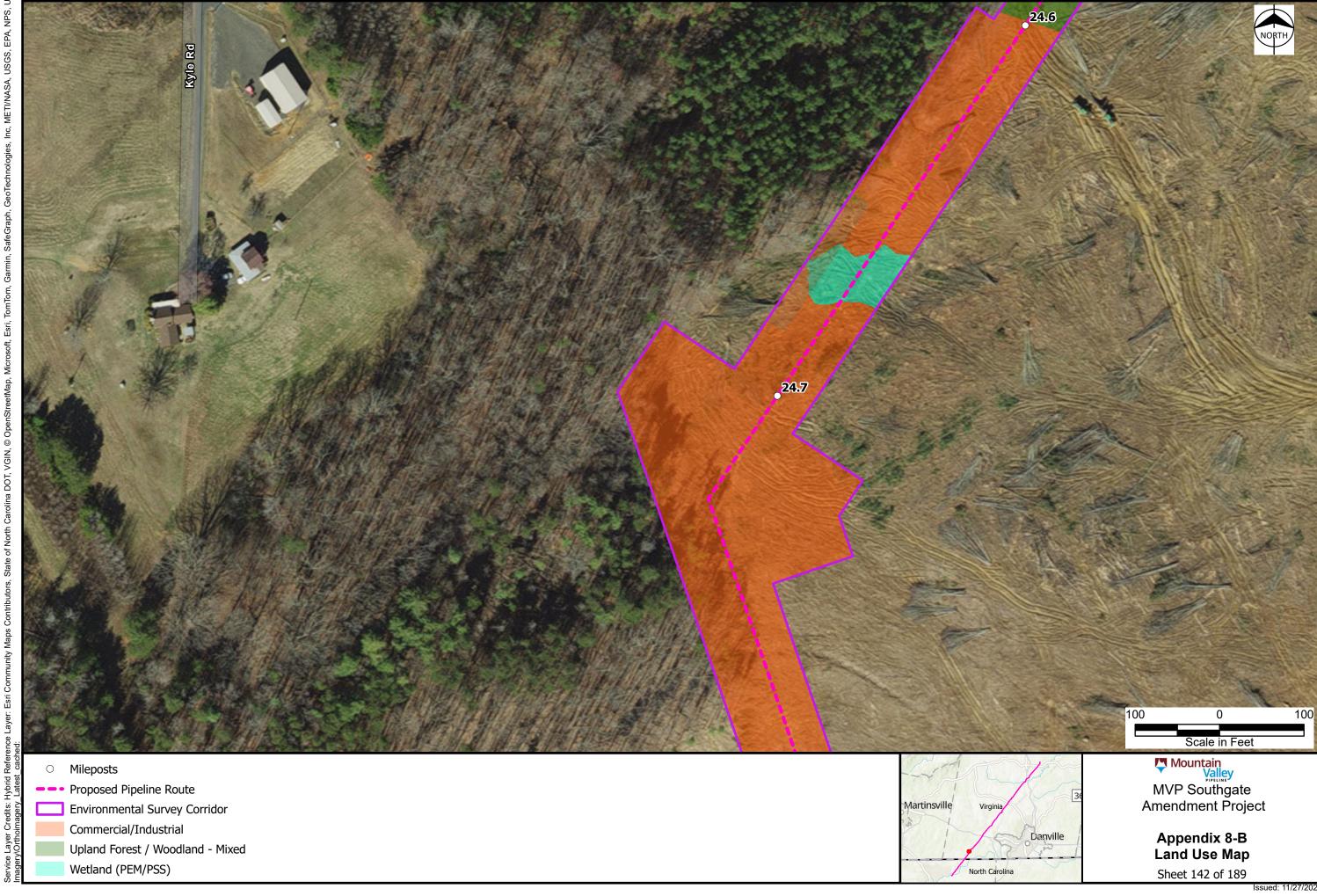


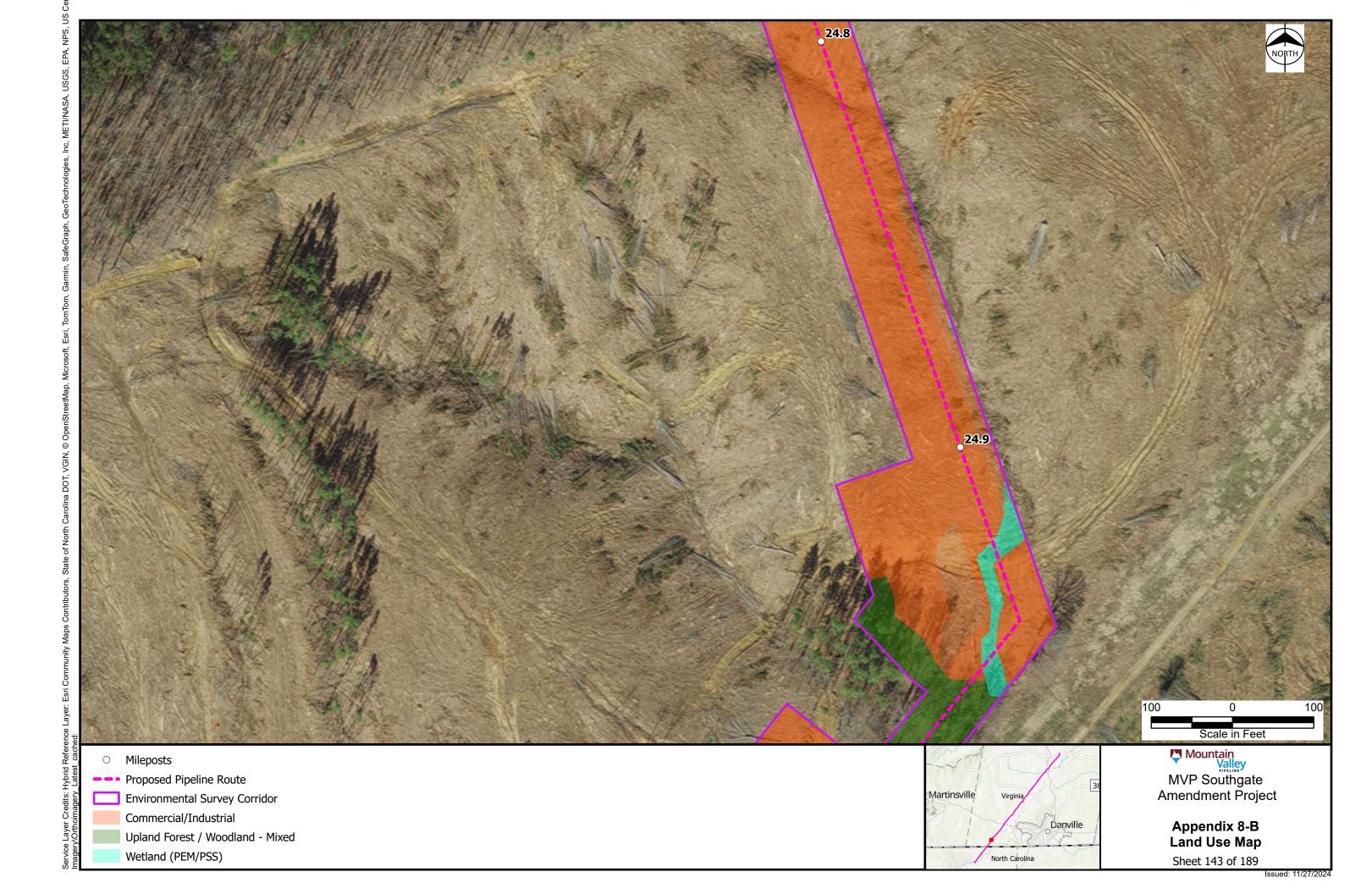


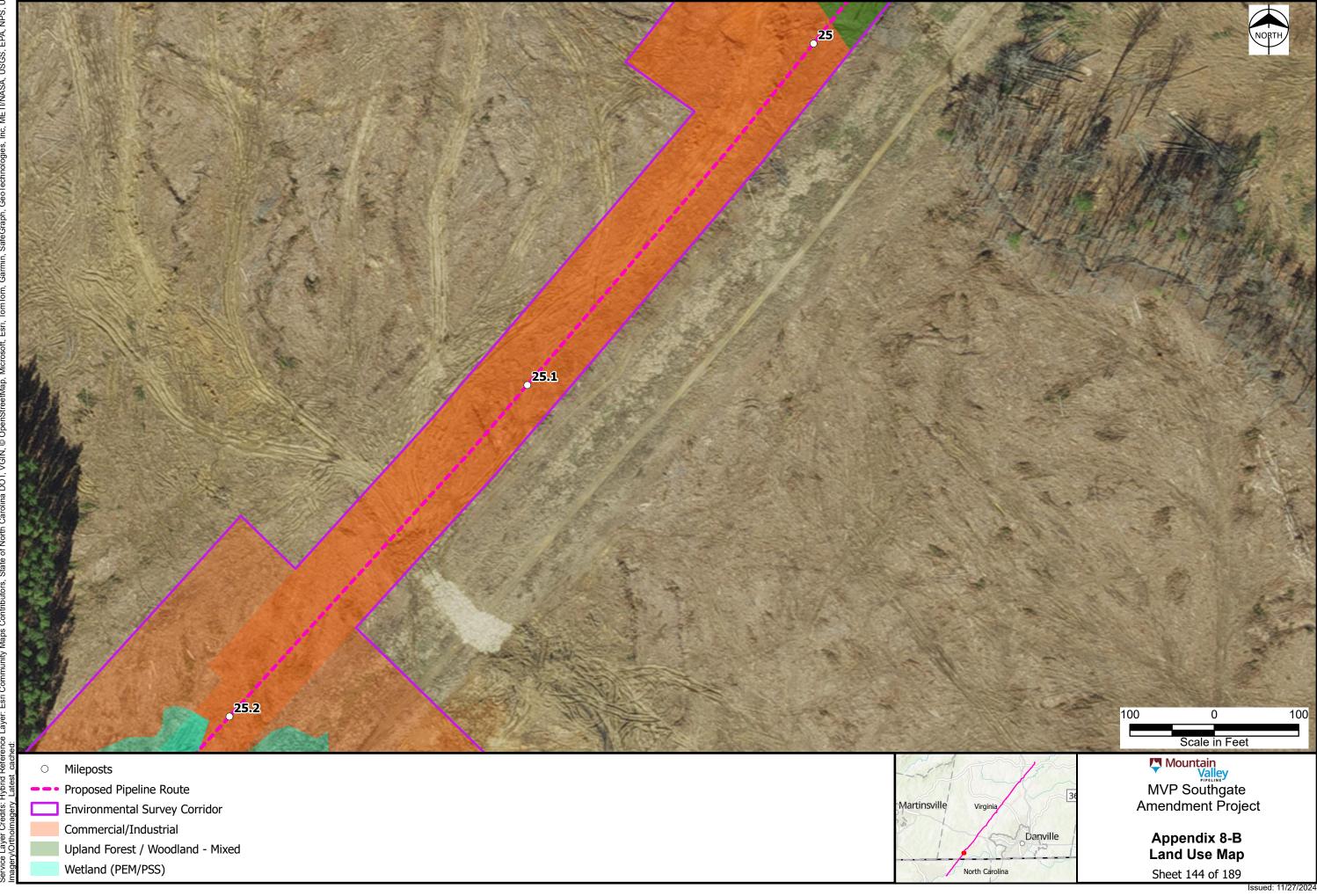


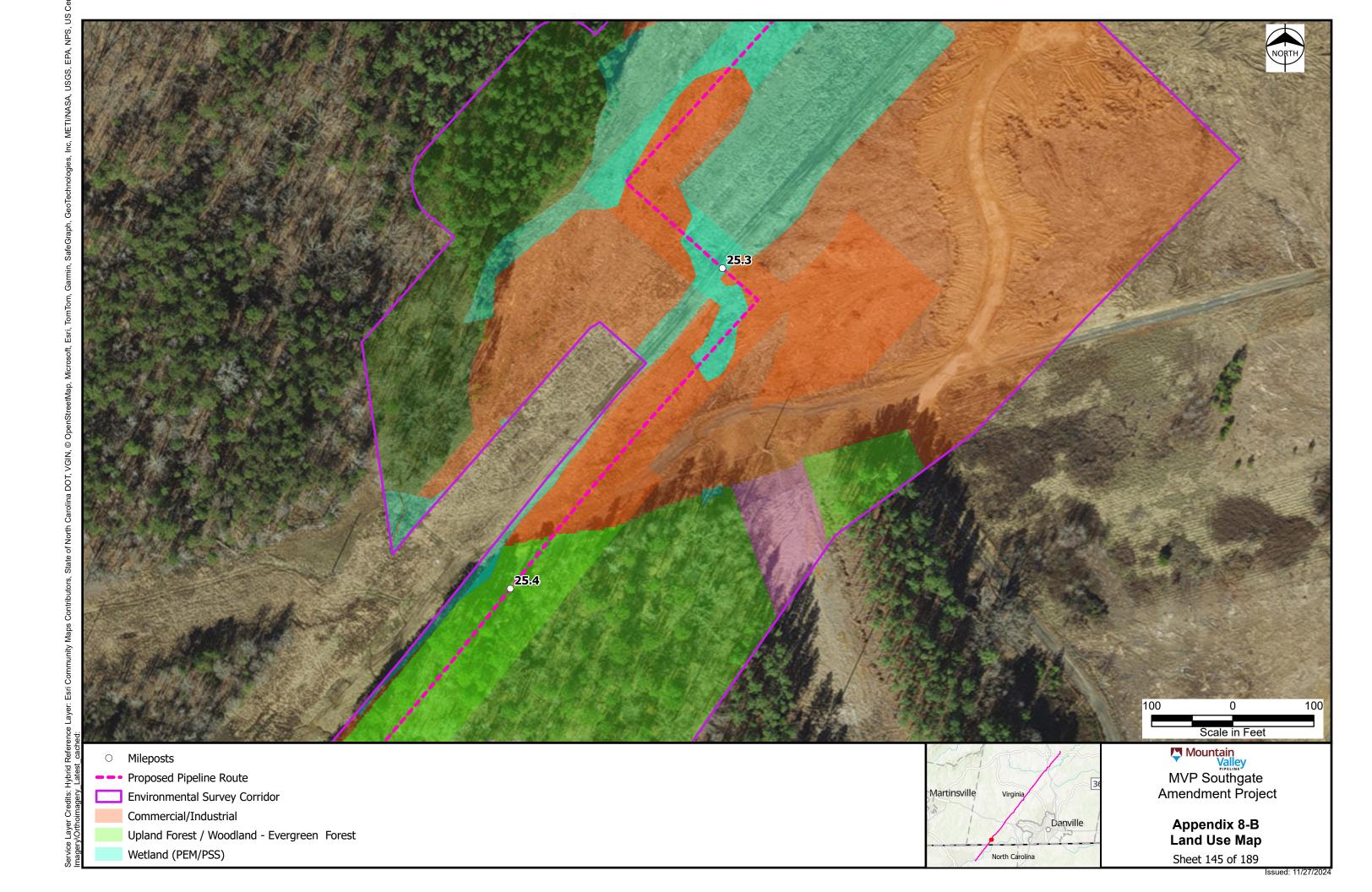
















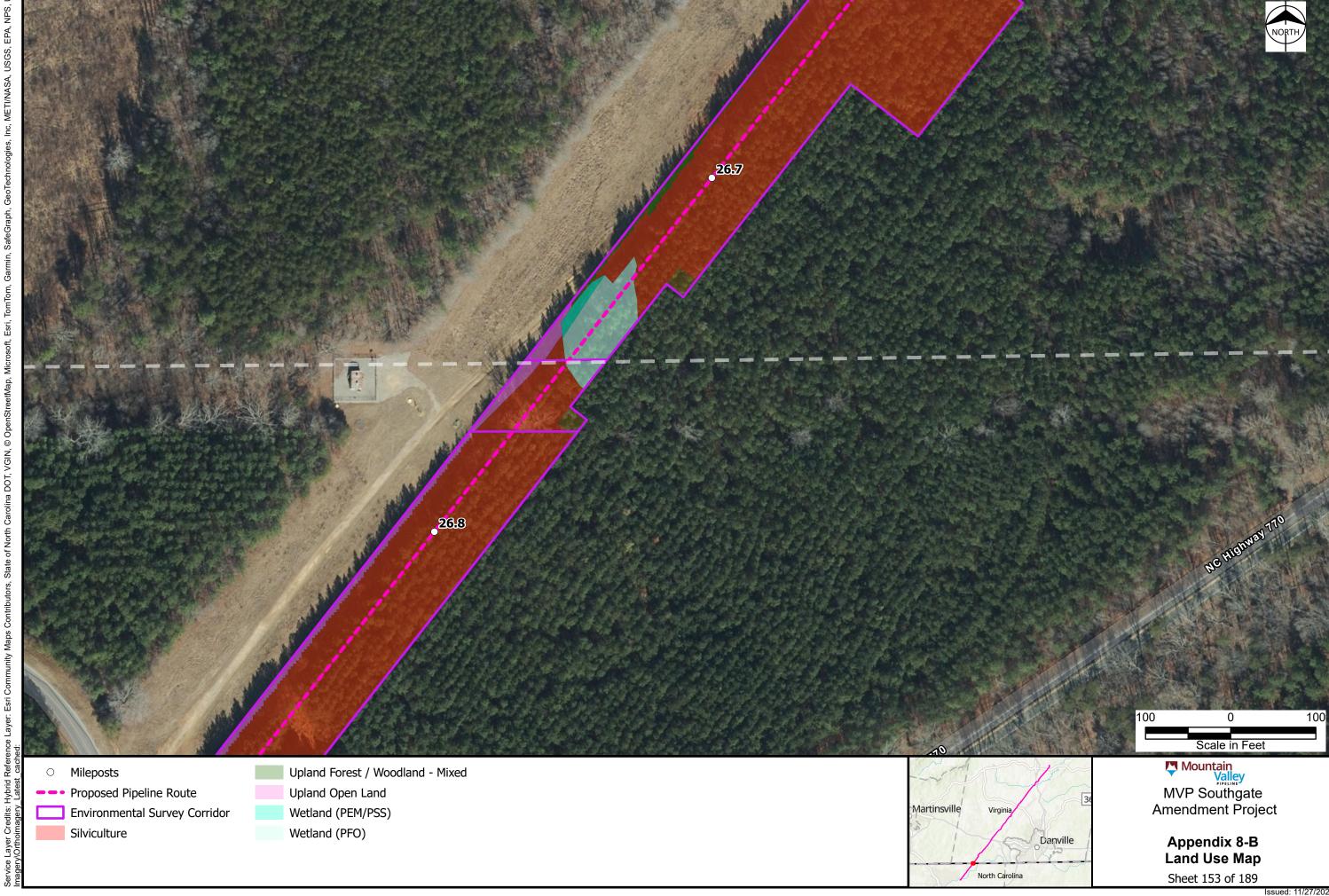








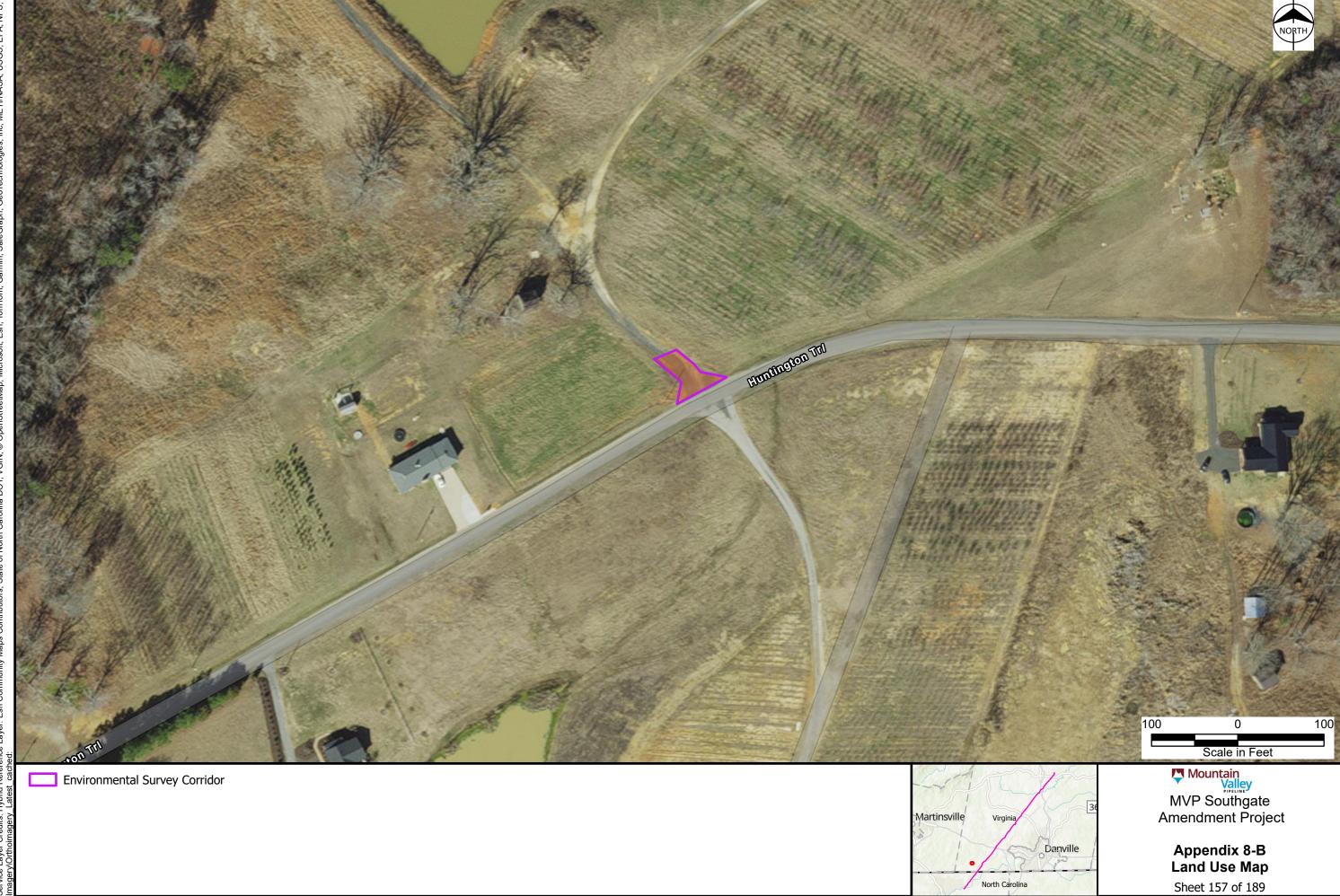








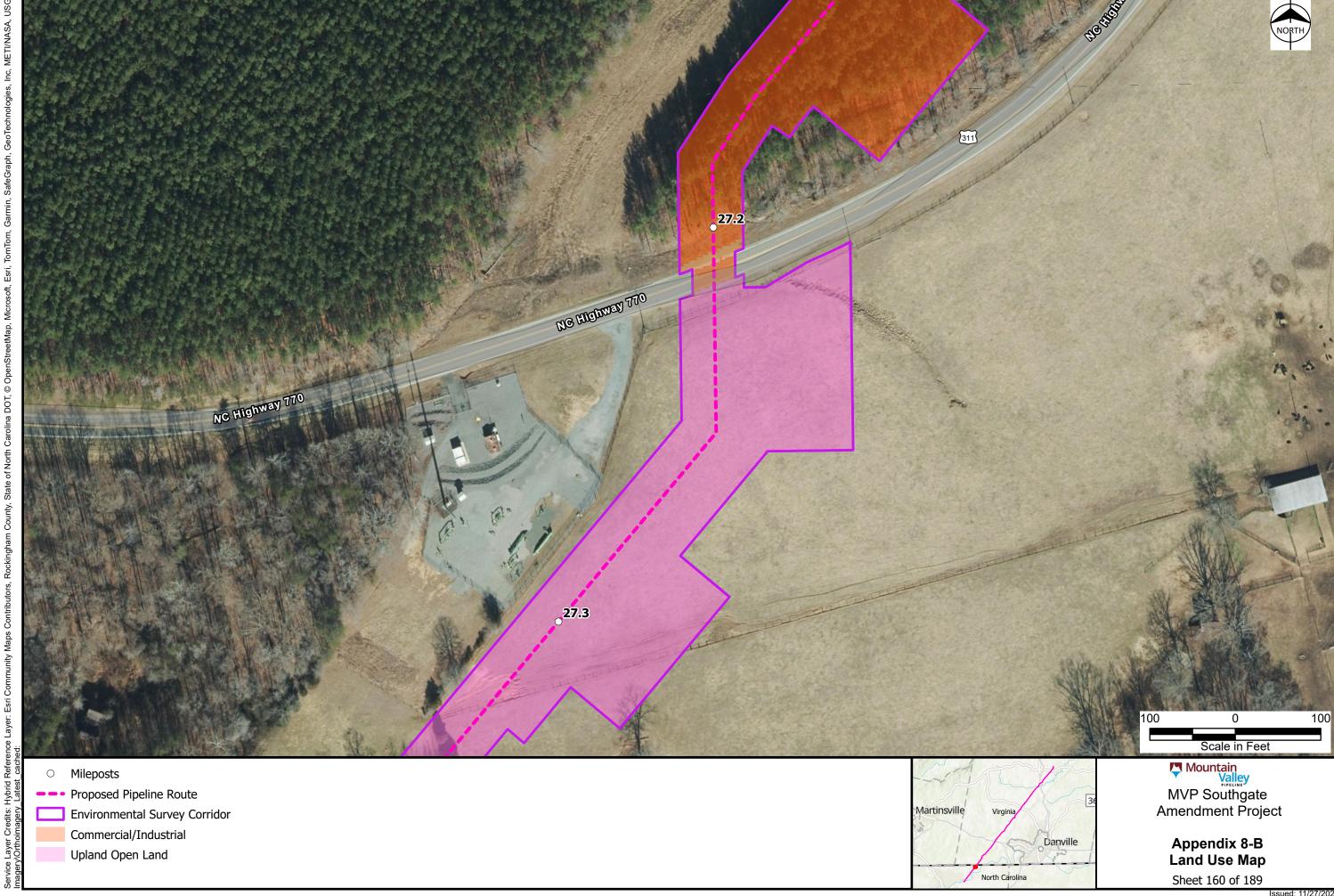




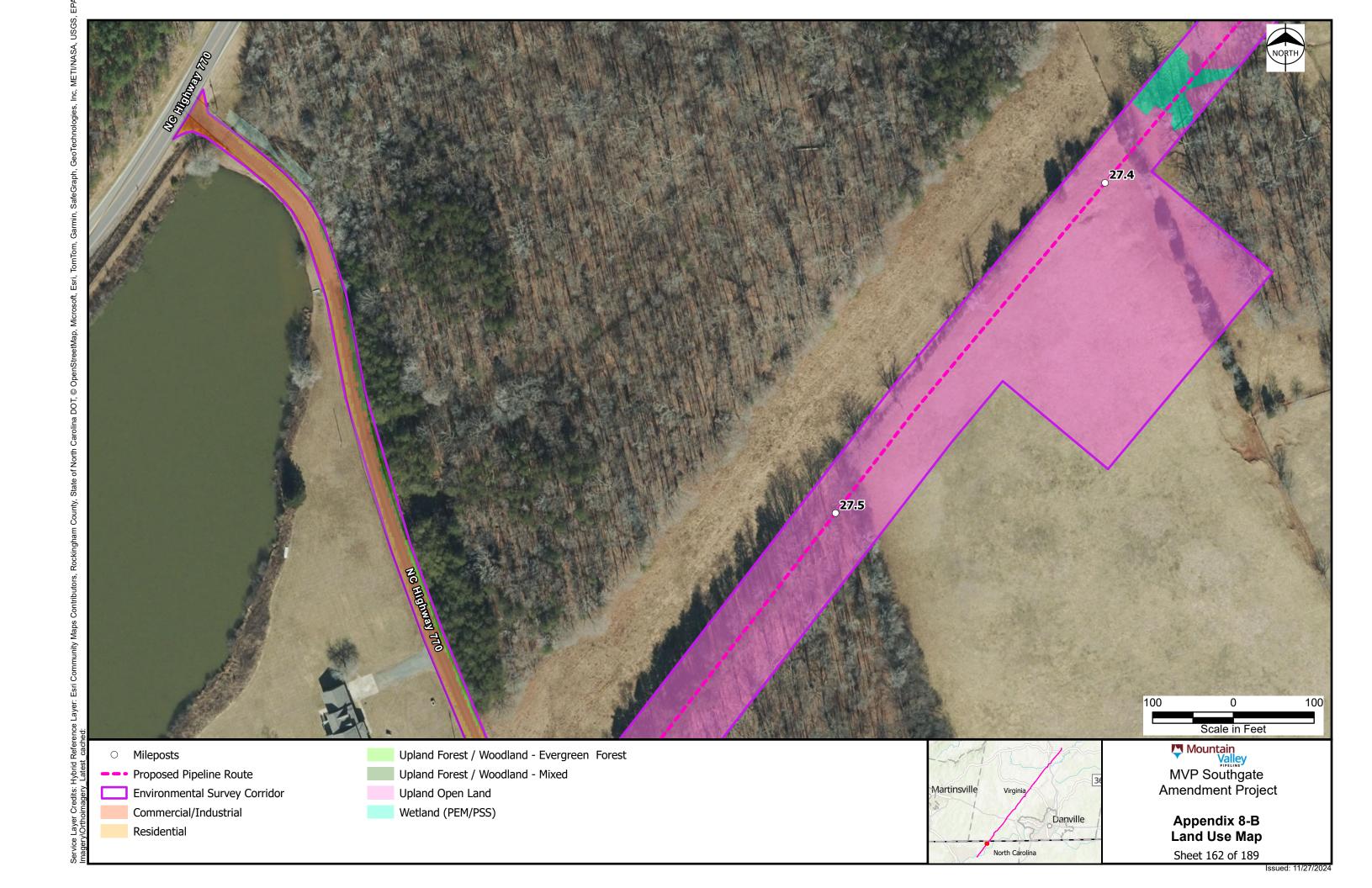


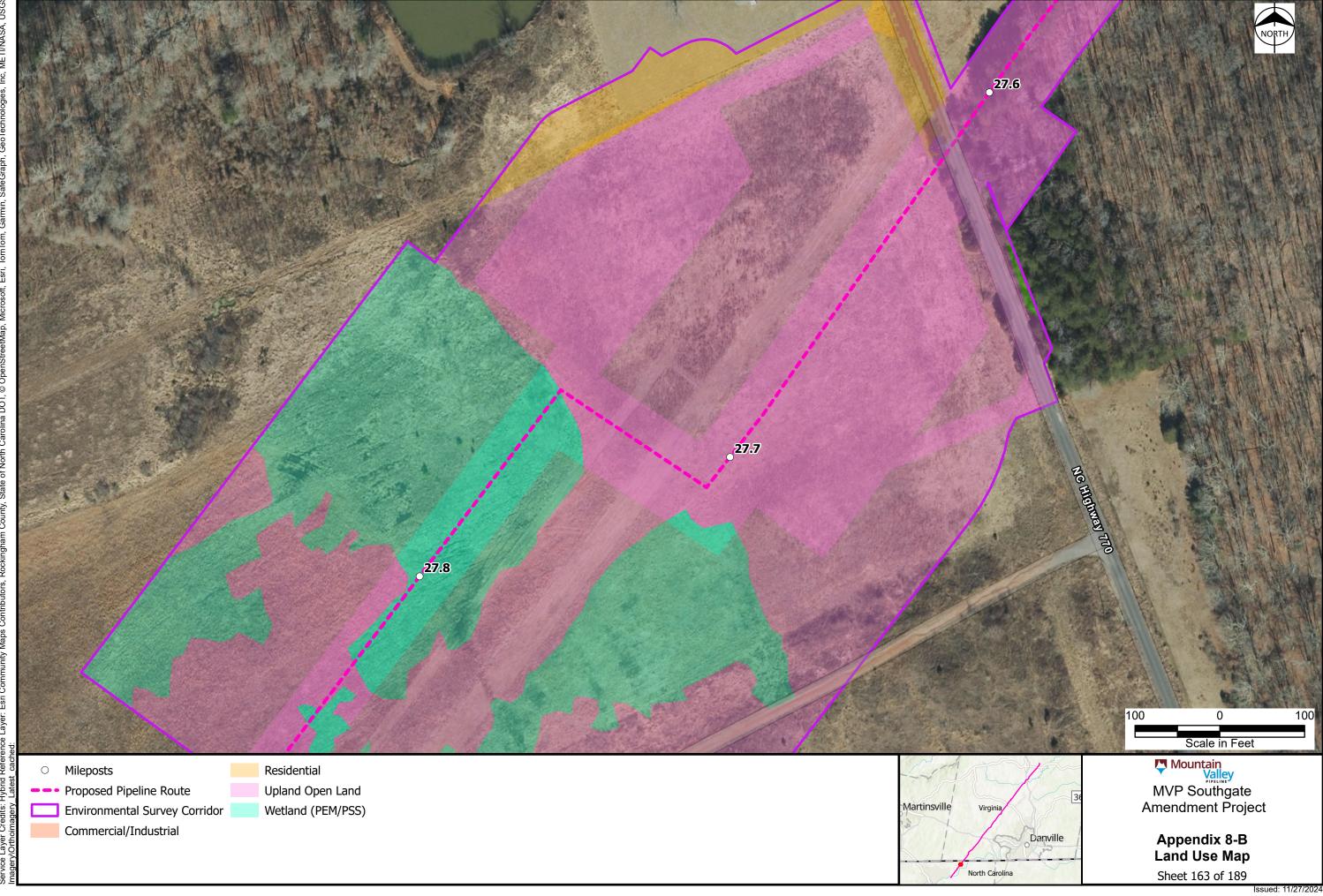


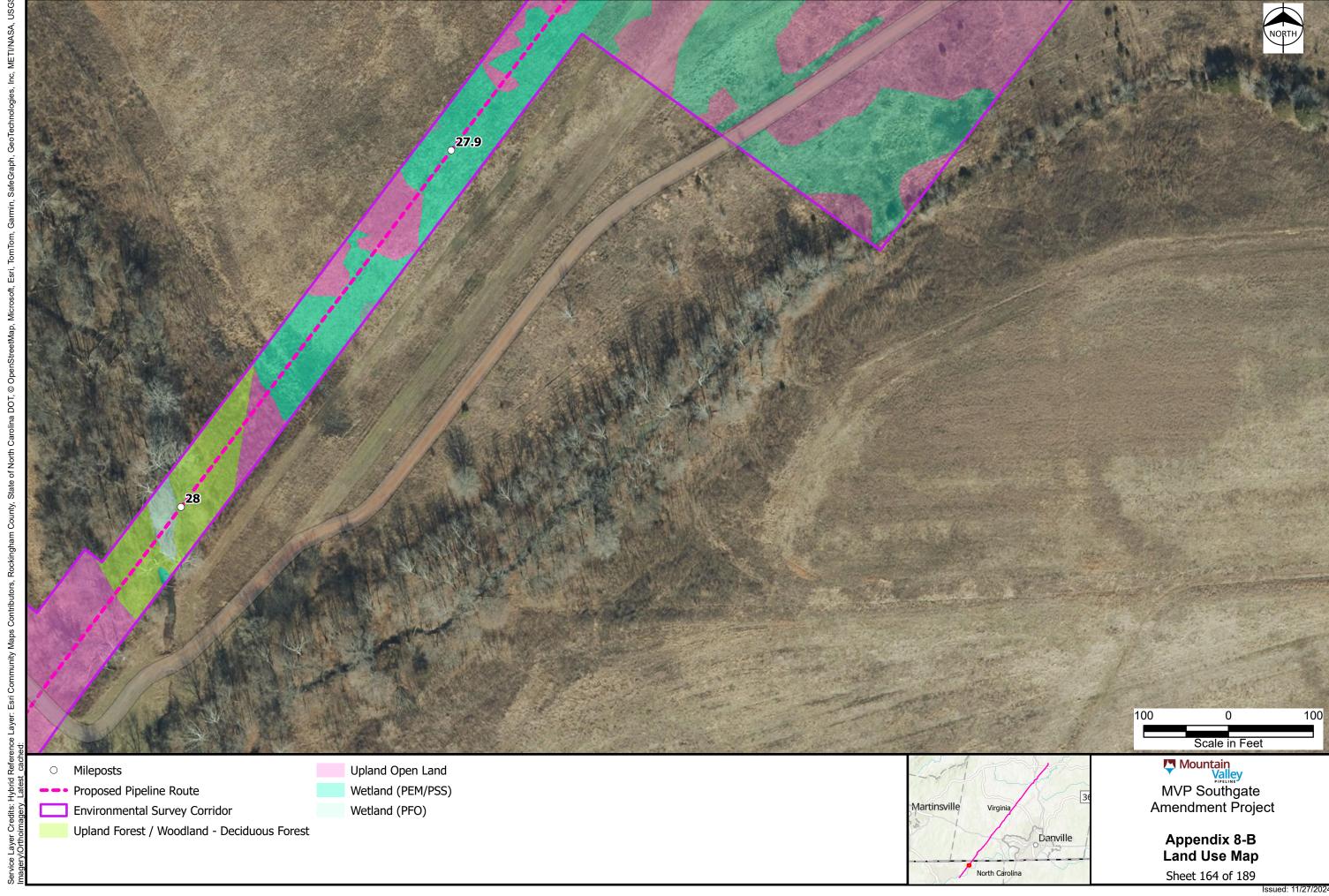
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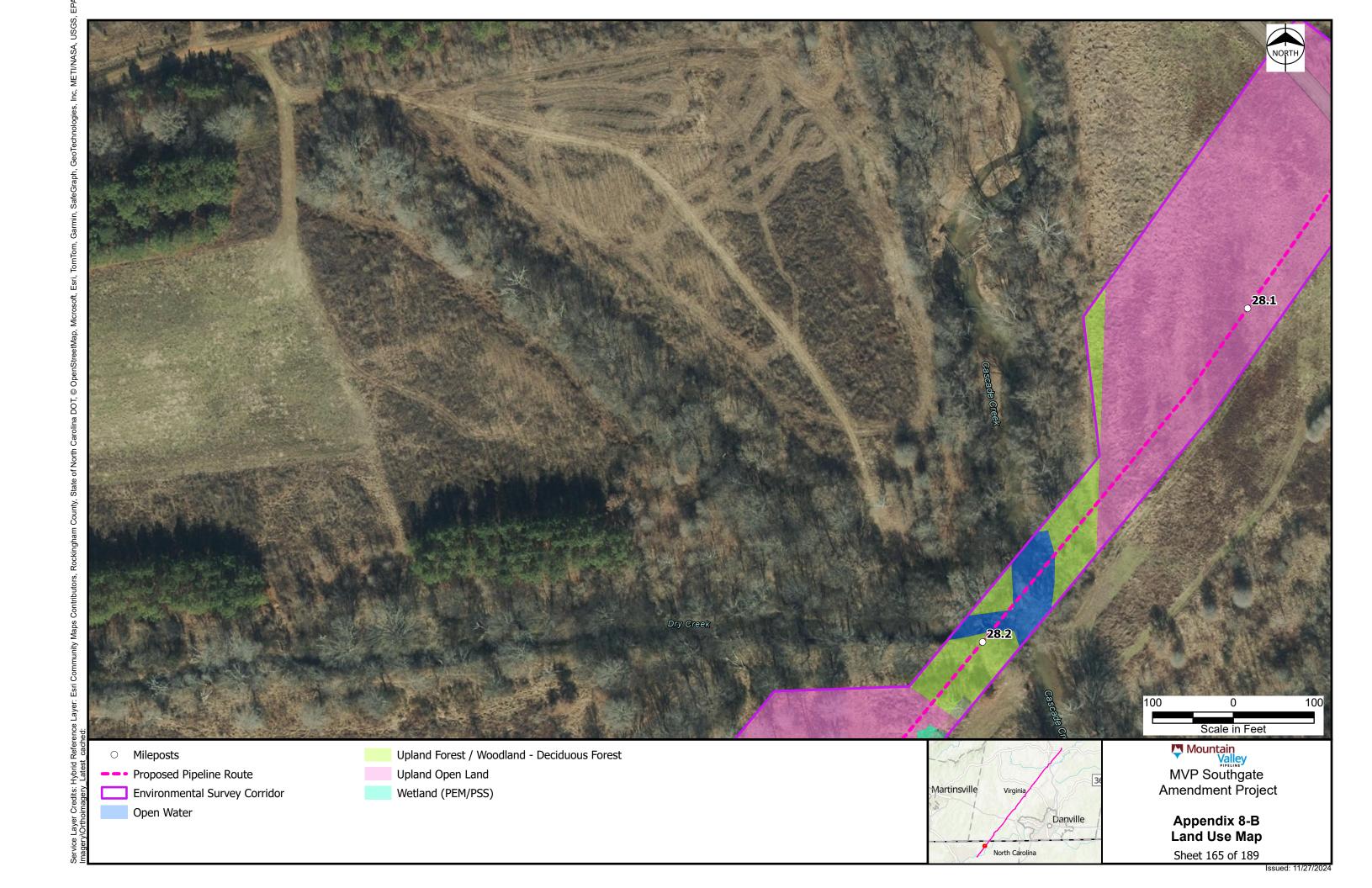


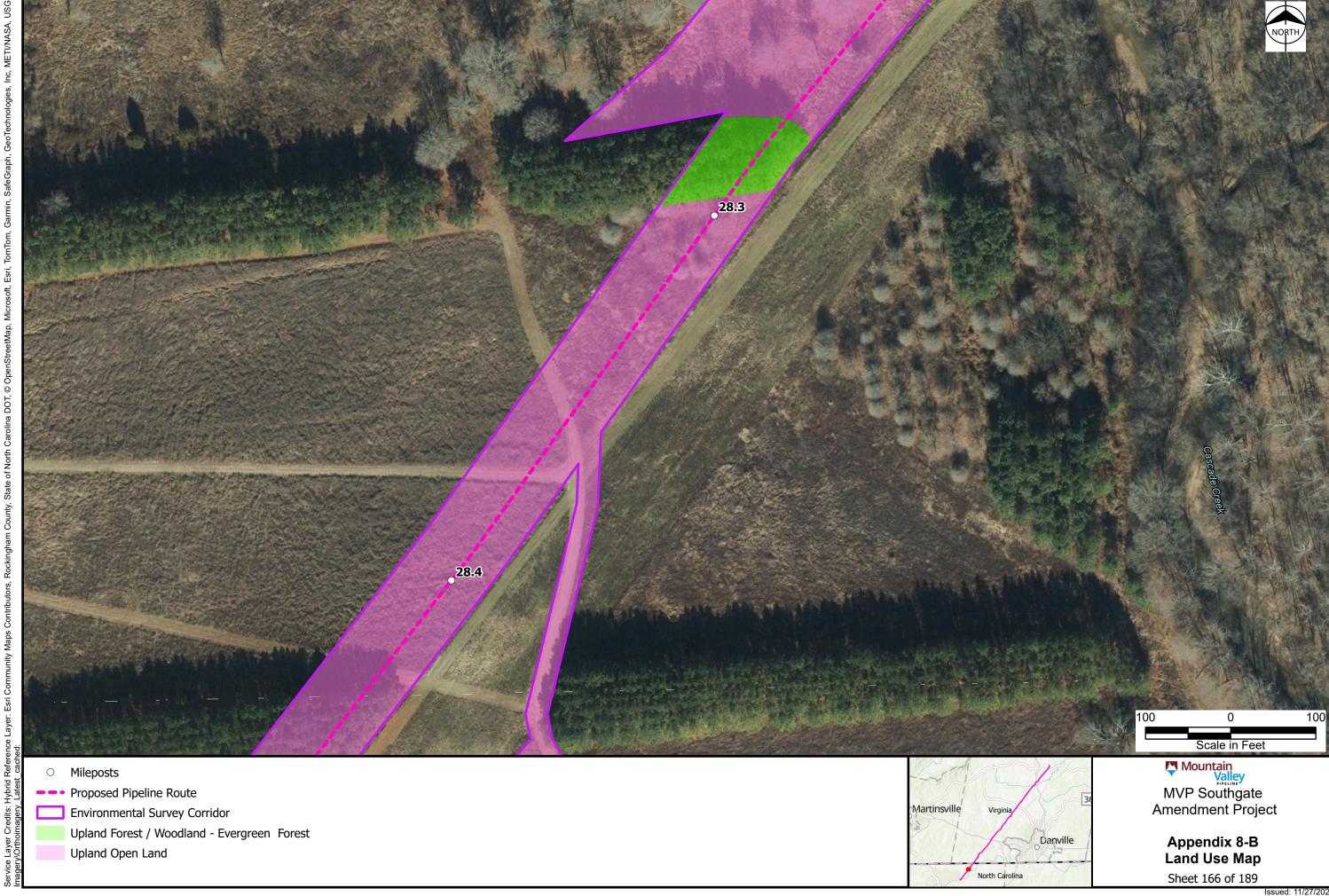






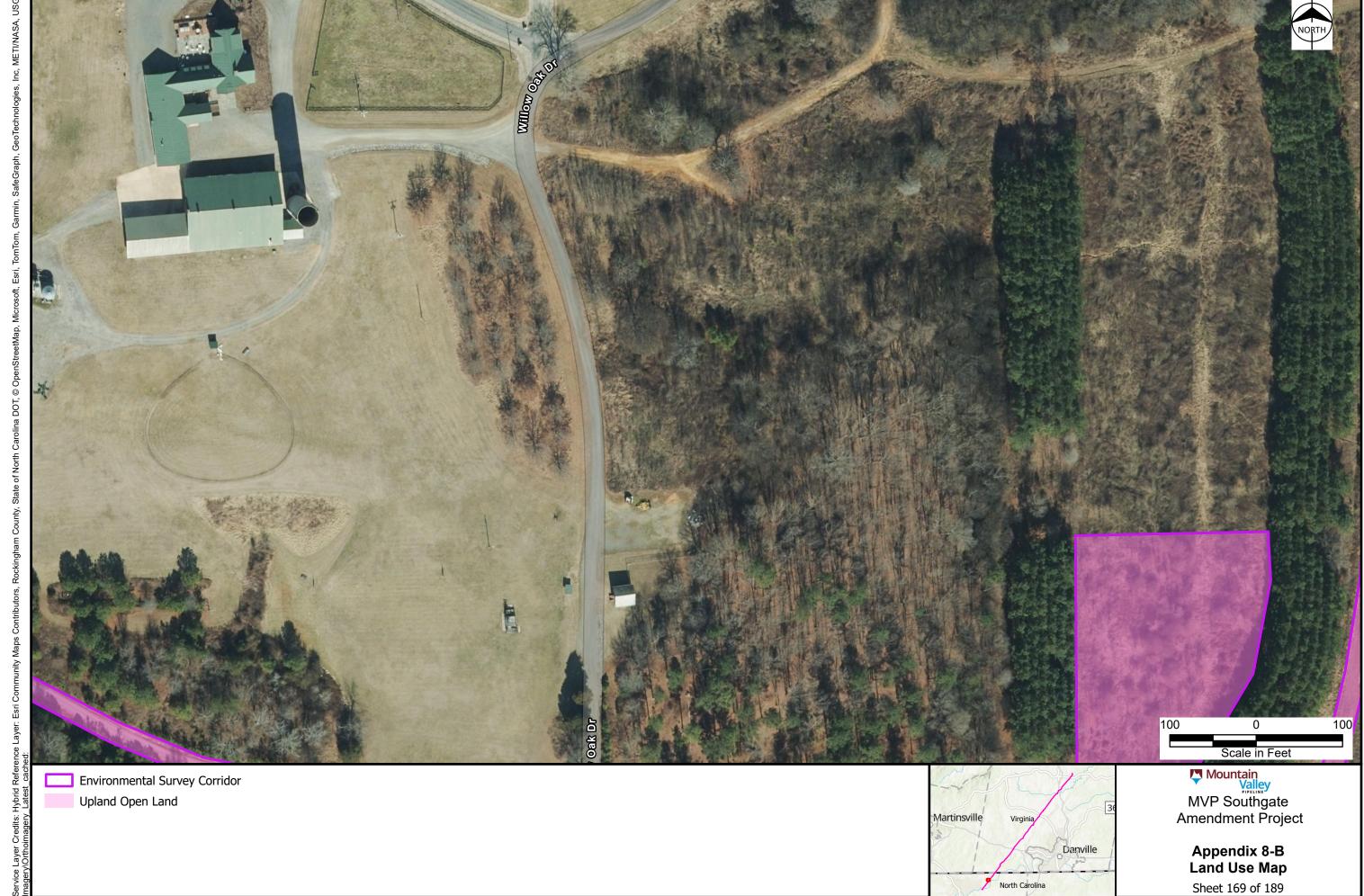




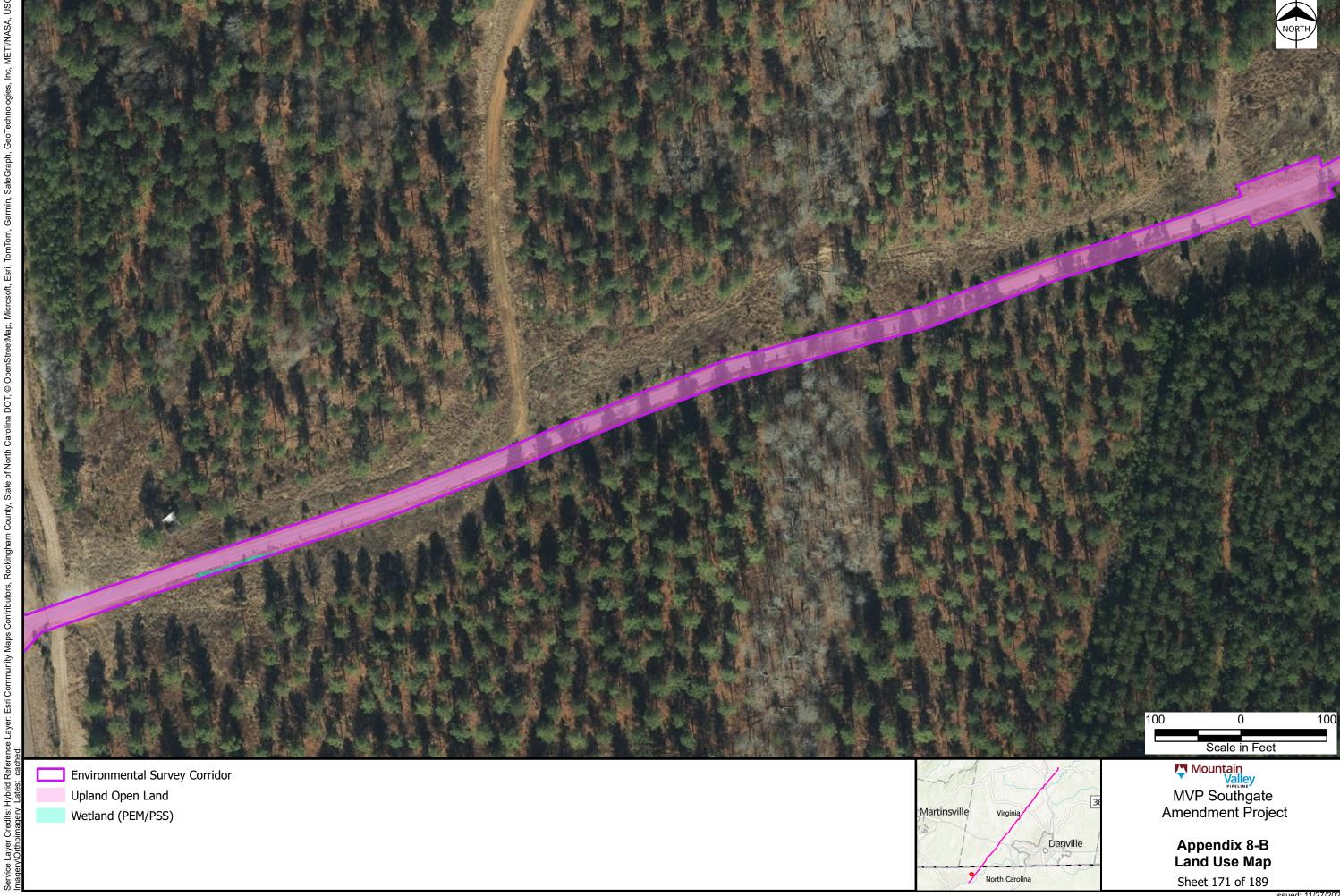


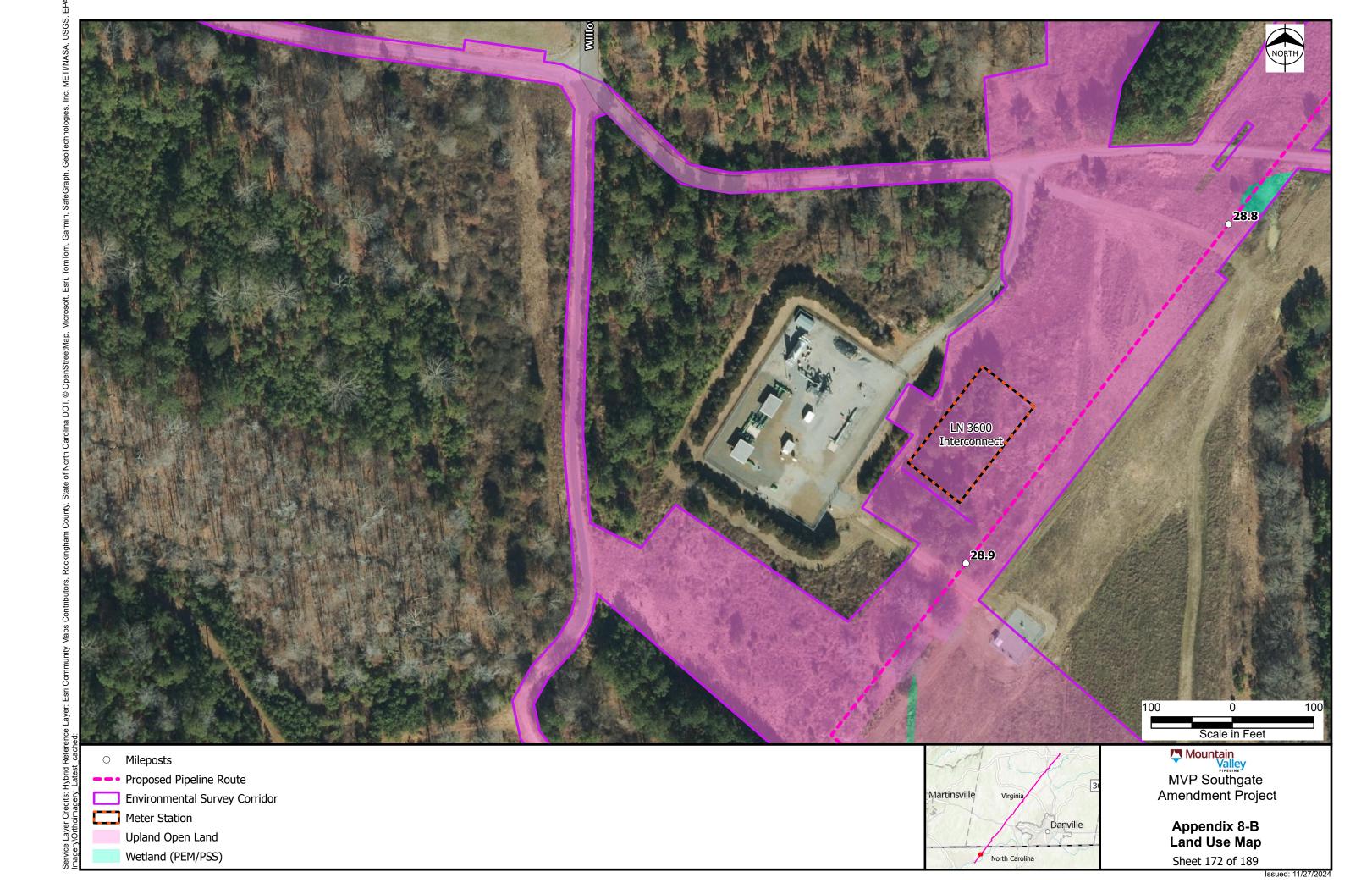


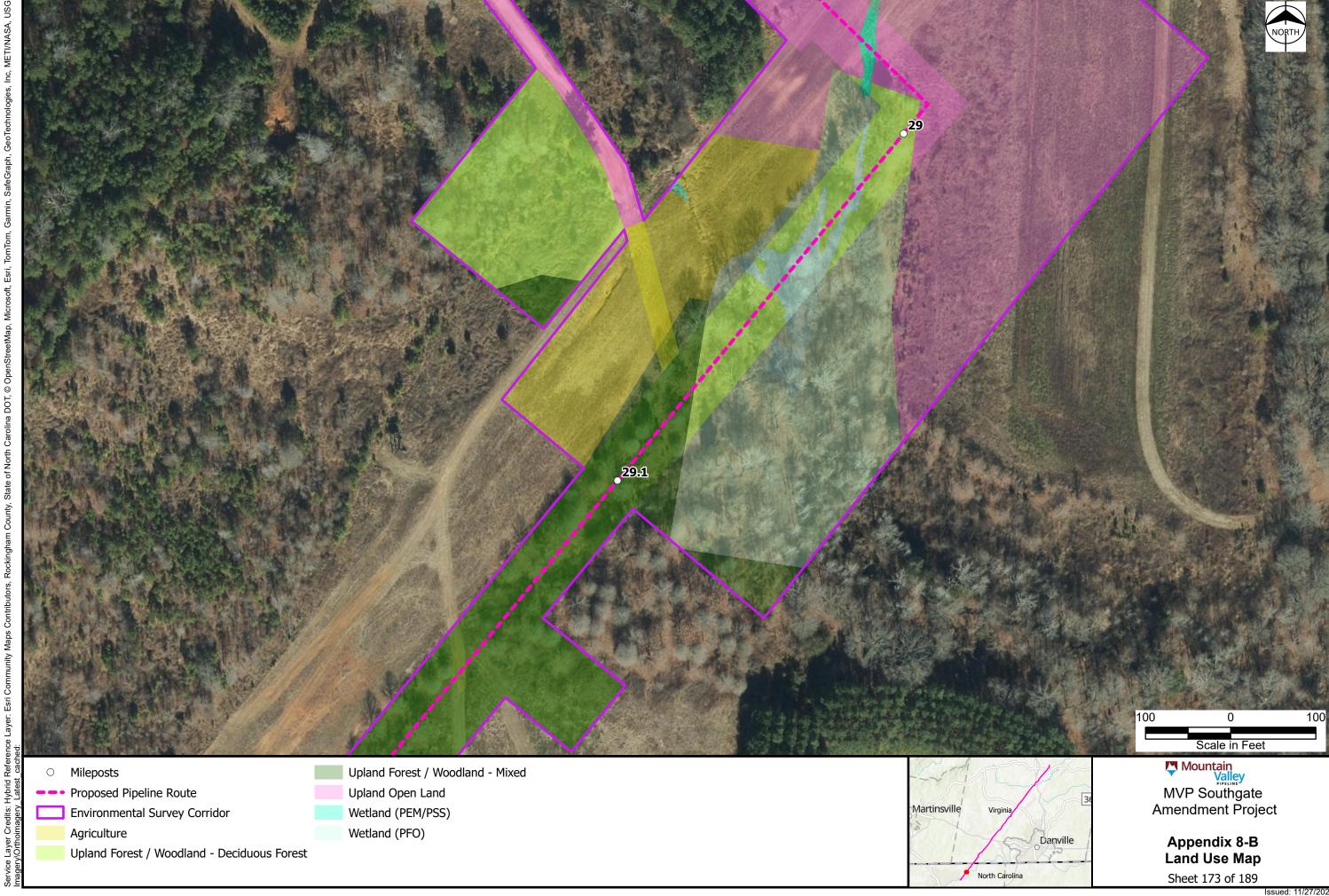


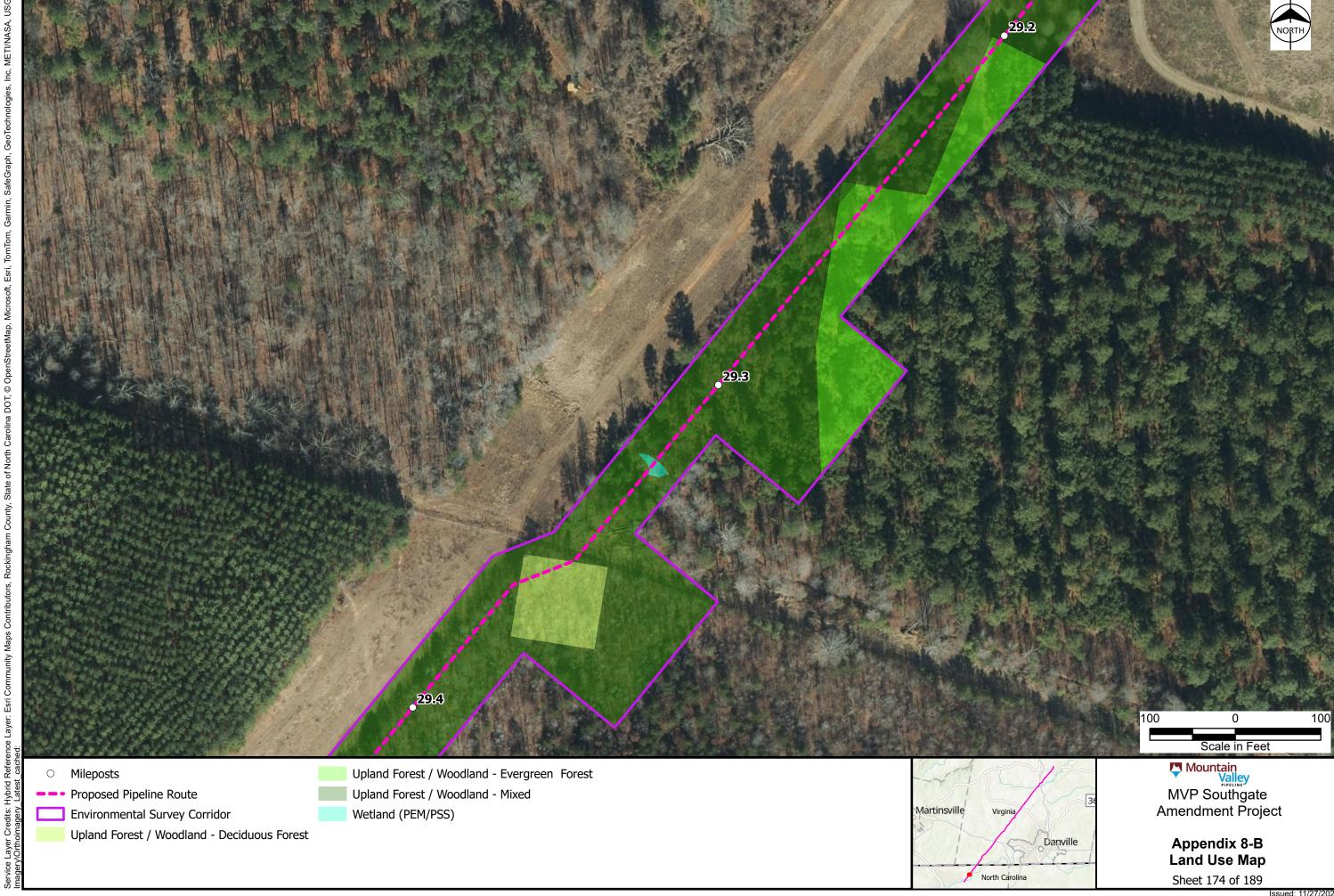


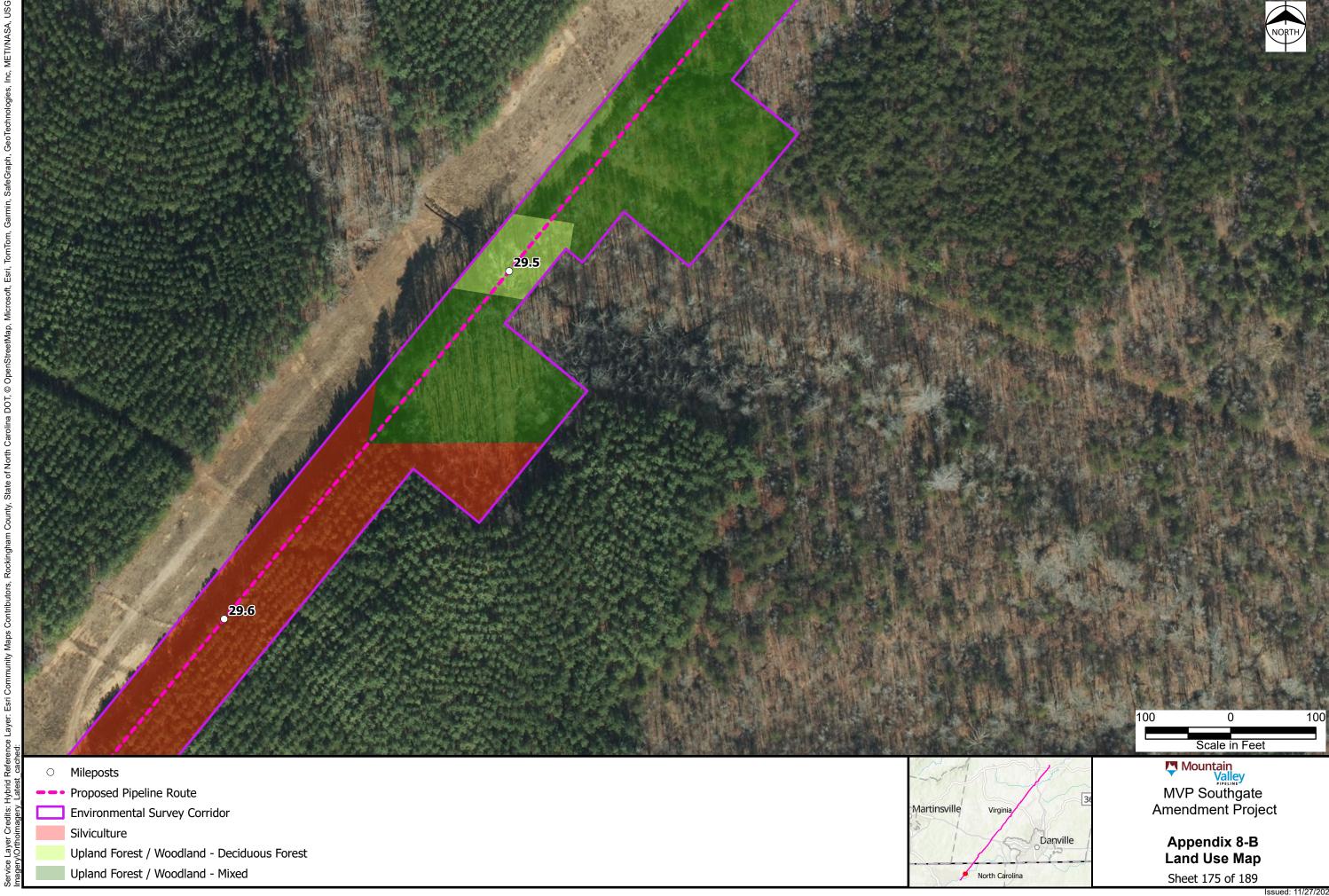








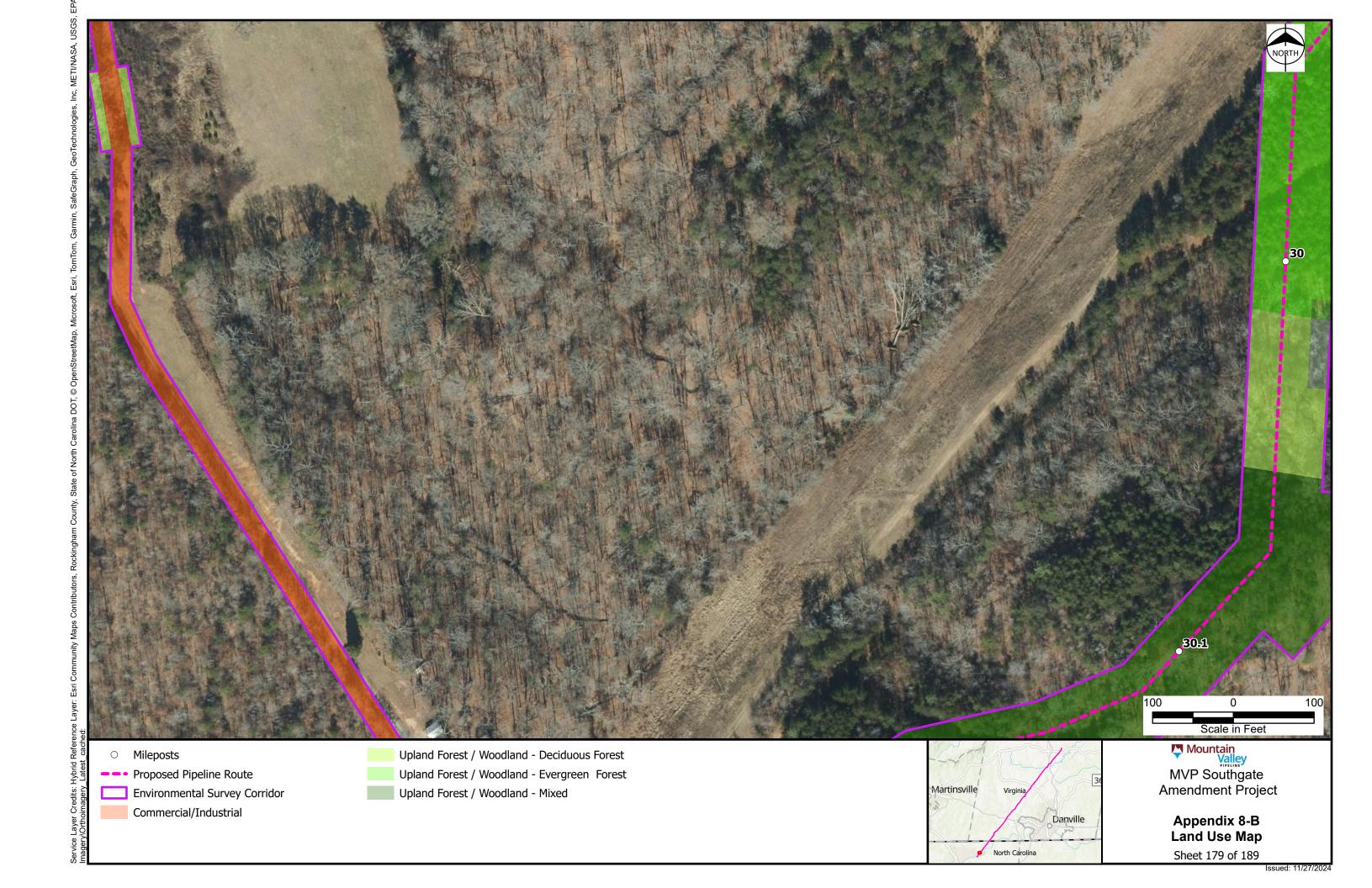




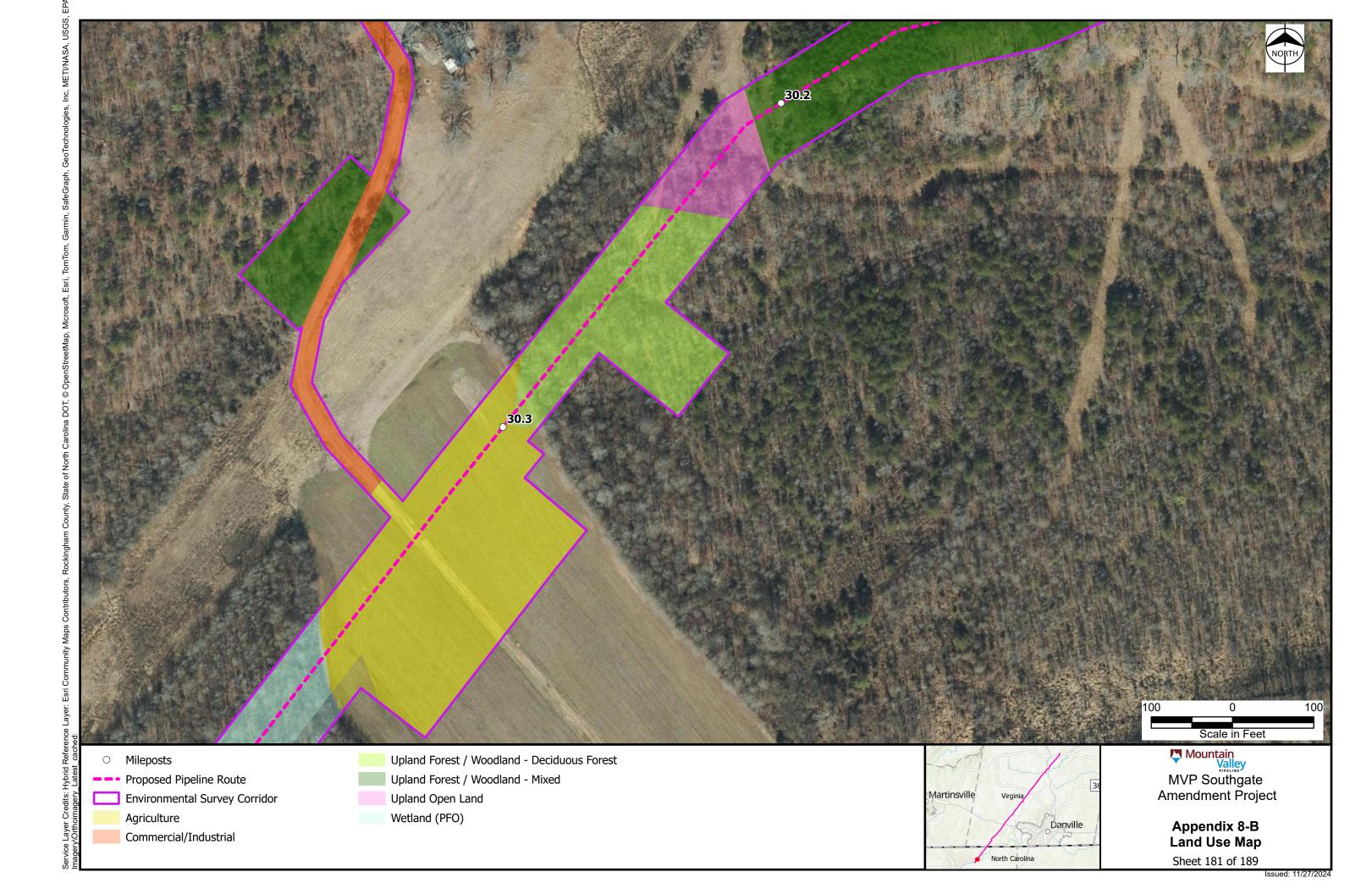




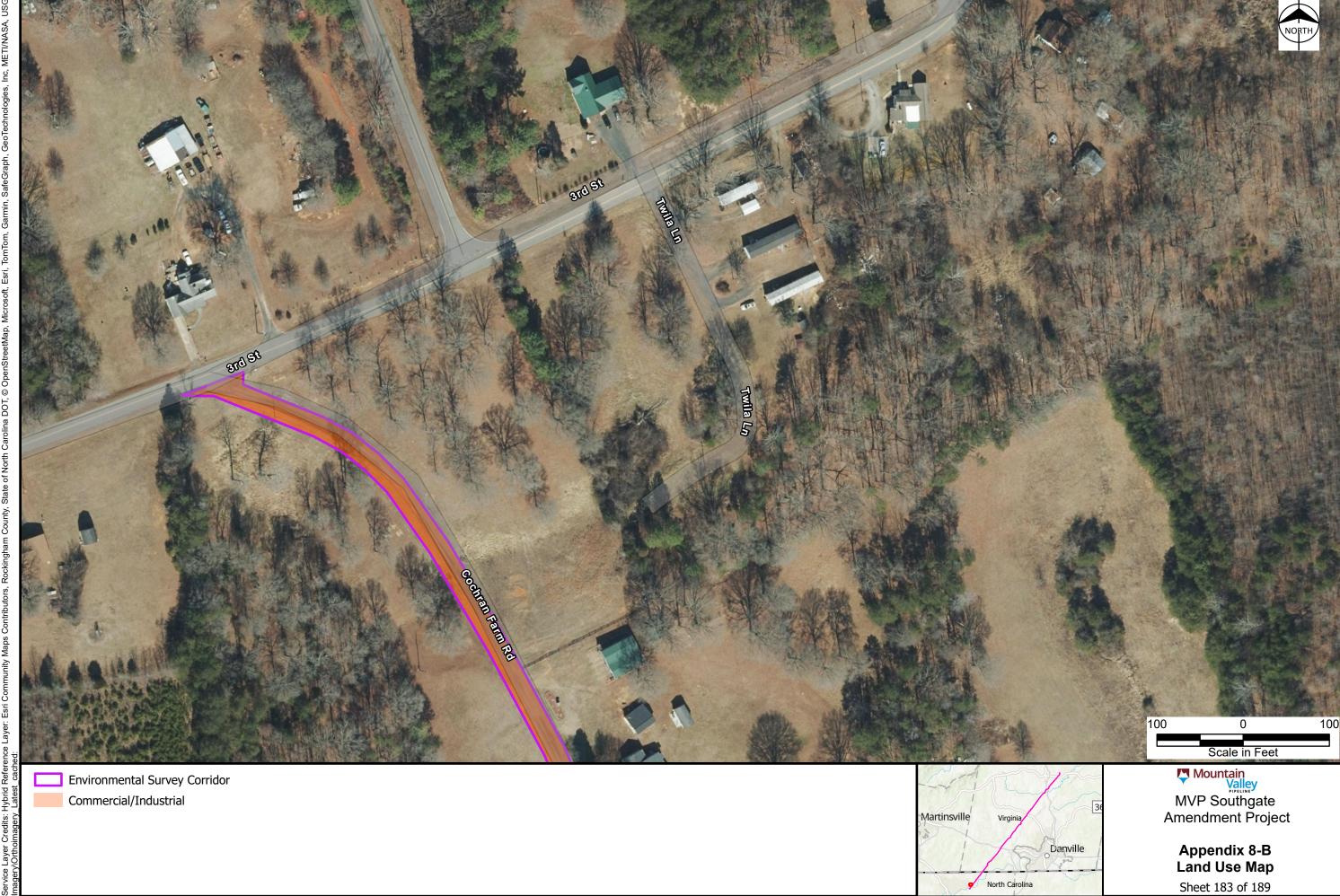


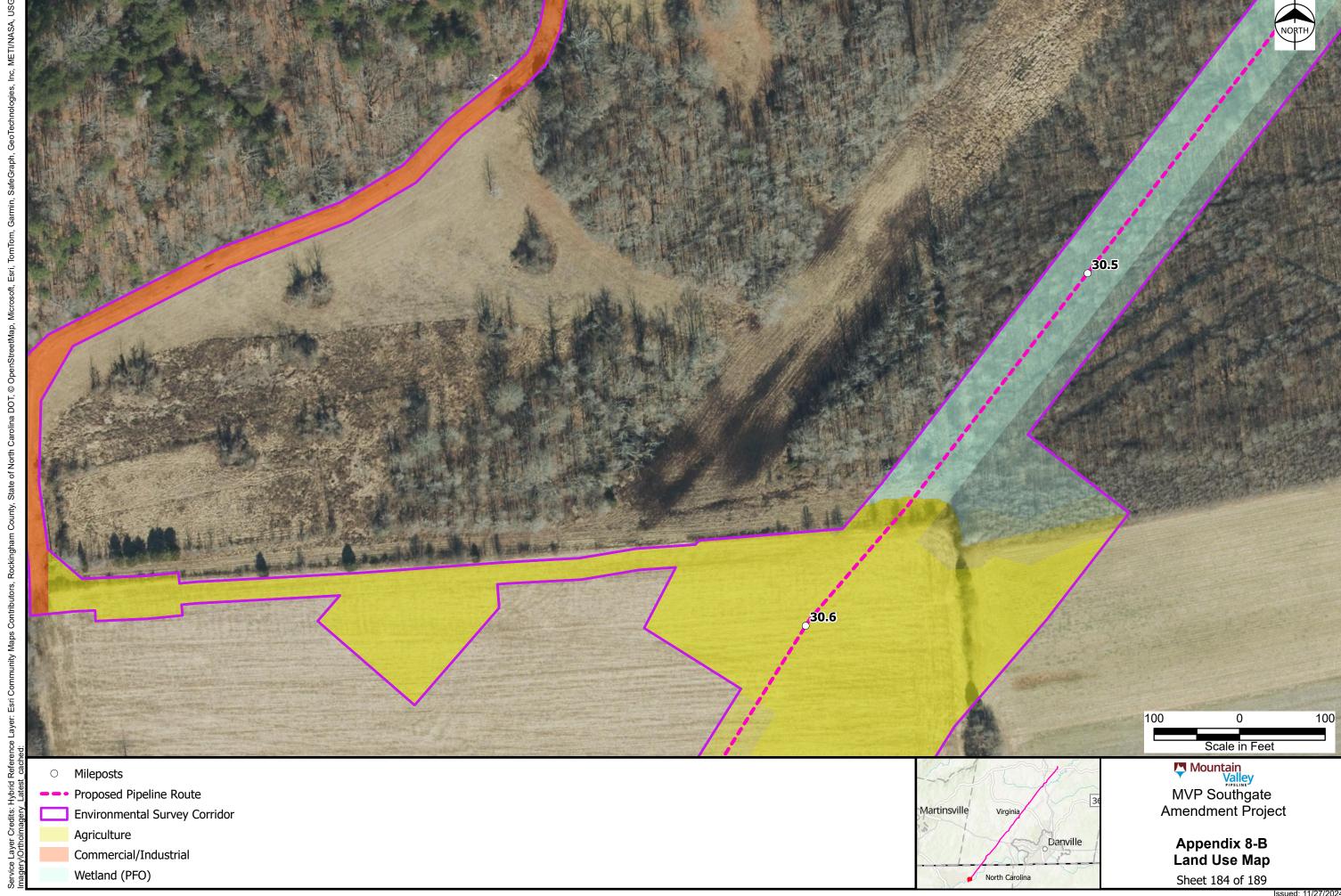


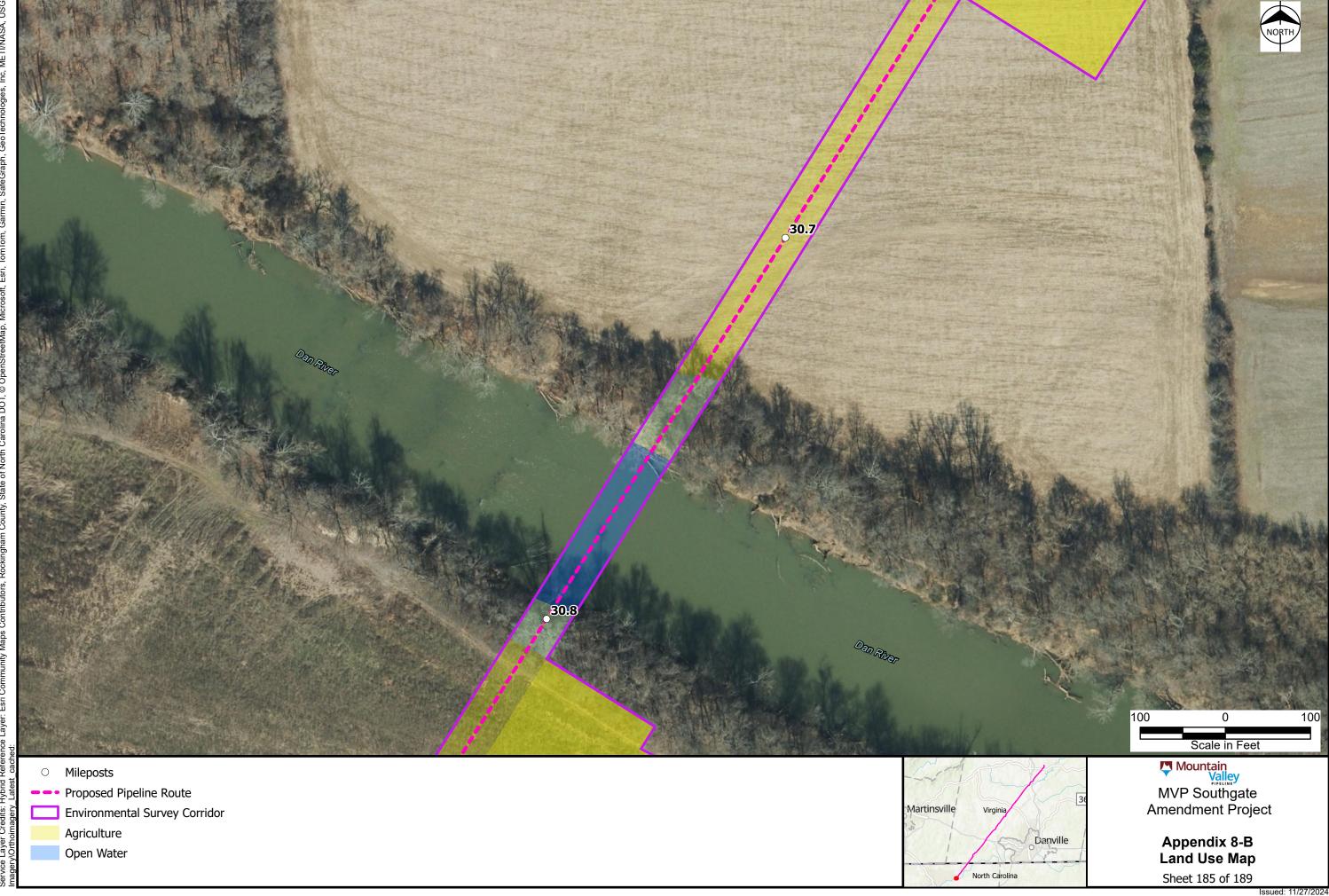


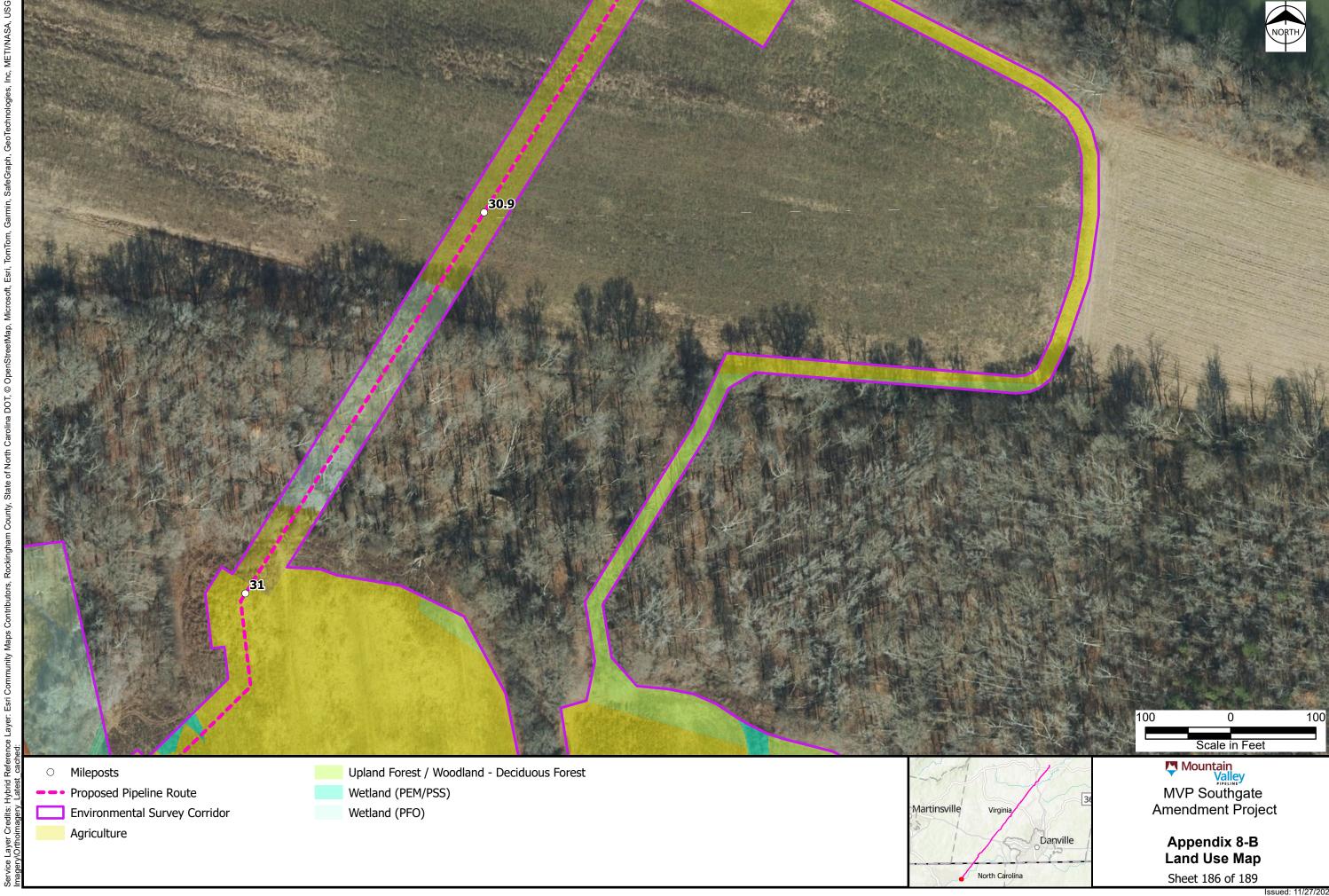


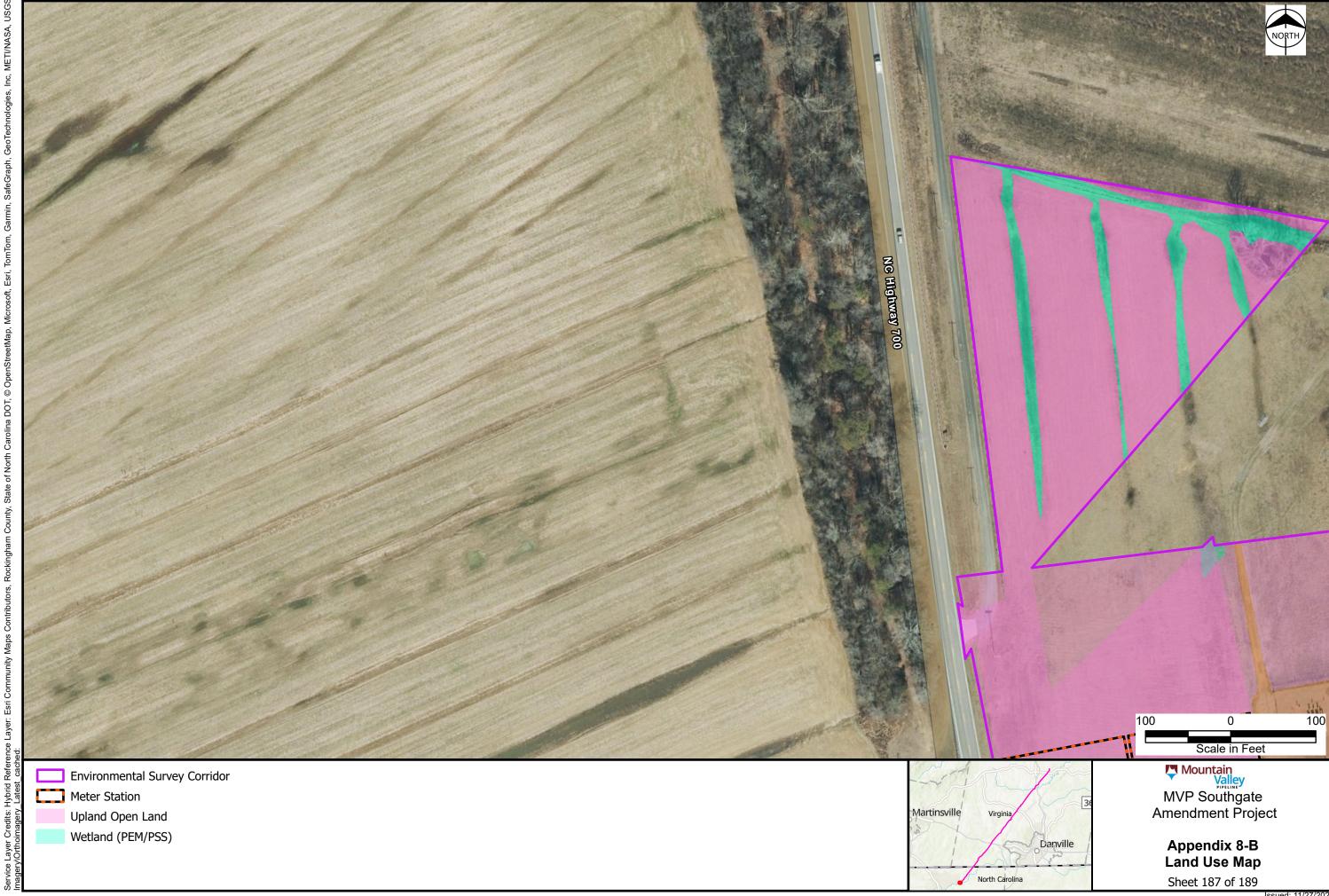


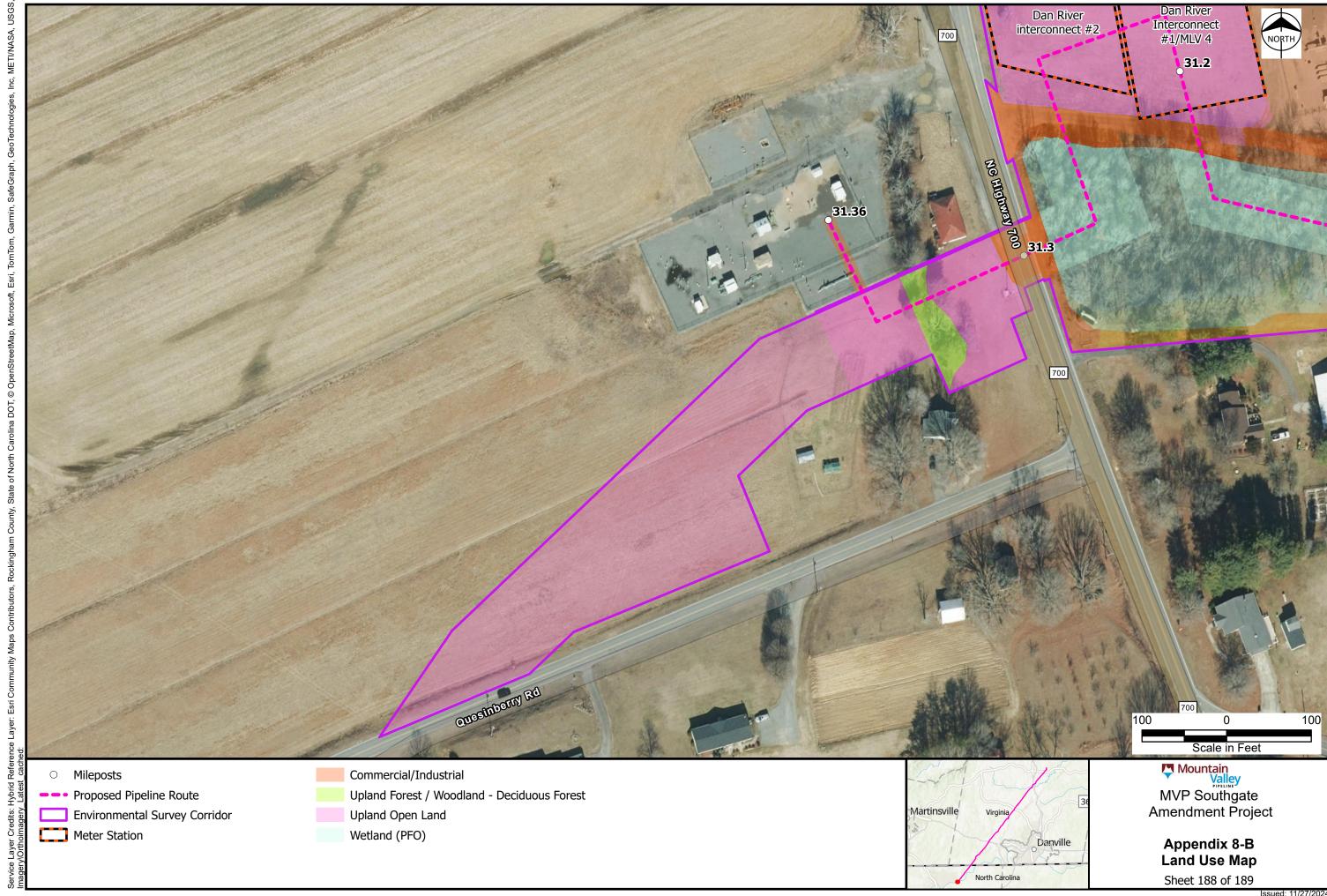
















## **MVP Southgate Amendment Project**

Docket No. CP25-XX-000

**Resource Report 8** 

**Appendix 8-C** 

**Roadways Crossed by the Amendment Project** 



Table 8-C						
Roadways Crossed by the Amendment Project						
Facility, County, State	MP	Road Name	Surface Type	Jurisdiction	Public or Private	Crossing Method
H-650 Pipeline	I		, , , , , , , , , , , , , , , , , , ,			ı
Pittsylvania, VA	1.1	Halifax Road/State Route 57	Asphalt	State	Public	Bore
Pittsylvania, VA	3.2	County Road 694/ Davis Road	Asphalt	County	Public	Bore
Pittsylvania, VA	3.3	County Road 703/ Fairview N	Asphalt	County	Public	Bore
Pittsylvania, VA	4.6	U.S. Highway 29	Asphalt	U.S.	Public	Bore
Pittsylvania, VA	4.6	County Road 1437/ Woodlawn Academy Road	Asphalt	County	Public	Bore
Pittsylvania, VA	4.7	U.S. Highway 29	Asphalt	U.S.	Public	Bore
Pittsylvania, VA	7.5	County Road 836/ White Oak Circle	Asphalt	County	Public	Bore
Pittsylvania, VA	7.7	County Road 718/ Dry Fork Road	Asphalt	County	Public	Bore
Pittsylvania, VA	8.4	County Road 1099/ Hylton Lane	Asphalt	County	Public	Bore
Pittsylvania, VA	9.7	County Road 834/ Hopewell Road	Asphalt	County	Public	Bore
Pittsylvania, VA	10.6	County Road 1071/ Tobacco Road	Gravel	County	Public	Open Cut
Pittsylvania, VA	11.1	State Route 41/ Franklin Turnpike	Asphalt	State	Public	Bore
Pittsylvania, VA	12.7	County Road 865/ Hutson Road	Asphalt	County	Public	Bore
Pittsylvania, VA	13.7	County Road 866/ Sandy Creek Road	Asphalt	County	Public	Bore
Pittsylvania, VA	15.3	County Road 750/ Whitmell School Road	Asphalt	County	Public	Bore
Pittsylvania, VA	16.3	County Road 844/ Mount Cross Road	Asphalt	County	Public	Bore
Pittsylvania, VA	16.9	County Road 868/ Silver Creek Road	Asphalt	County	Public	Bore
Pittsylvania, VA	18.7	County Road 878/ Pine Lake Road	Asphalt	County	Public	Bore
Pittsylvania, VA	19.4	County Road 876/ Cedar Spring Road	Asphalt	County	Public	Bore
Pittsylvania, VA	19.7	County Road 869/ Stony Mill Road	Asphalt	County	Public	Bore
Pittsylvania, VA	20.4	U.S. Highway 58/ Martinsville Highway	Asphalt	U.S.	Public	Bore
Pittsylvania, VA	22.5	County Road 875/ Horseshoe Road	Asphalt	County	Public	Bore
Pittsylvania, VA	24.2	County Road 862/ Oak Hill Road	Asphalt	County	Public	Bore
Rockingham, NC	26.9	State Road 1745/ Buffalo Road	Asphalt	State	Public	Bore
Rockingham, NC	27.2	State Road 770	Asphalt	State	Public	Bore
Rockingham, NC	31.3	State Road 700	Asphalt	State	Public	Bore



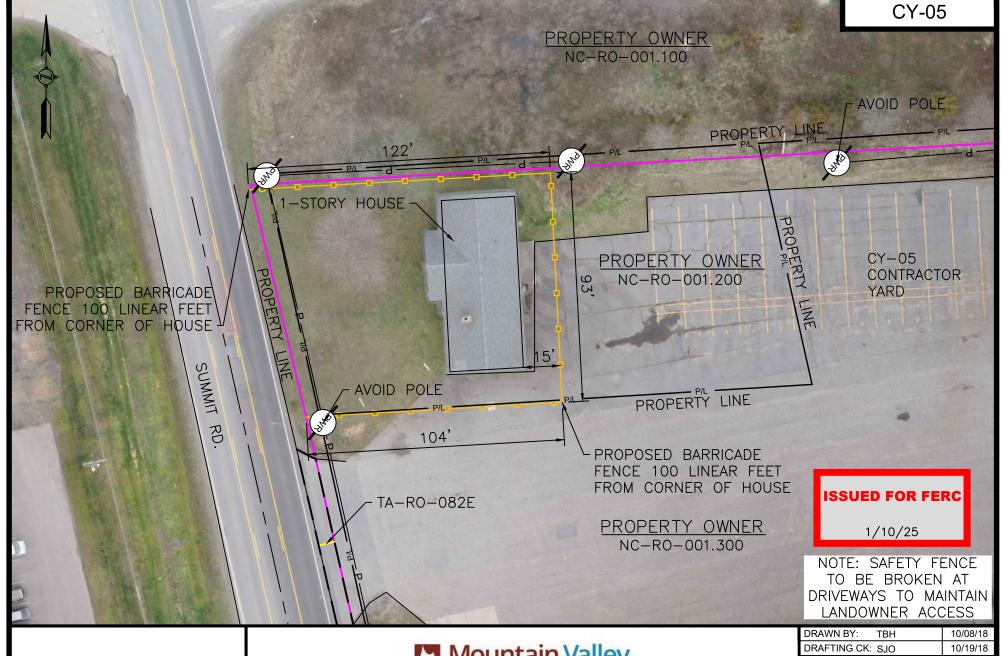
## **MVP Southgate Amendment Project**

Docket No. CP25-XX-000

**Resource Report 8** 

**Appendix 8-D** 

**Site-Specific Residential Construction and Mitigation Plans** 







MVP SOUTHGATE AMENDMENT PROJECT PROPOSED H-650 PIPELINE ROCKINGHAM COUNTY, NORTH CAROLINA SHEET 1 OF 1

DRAWN BY: TBH	10/08/18
DRAFTING CK: SJO	10/19/18
ENVIRONMENTAL CK:	
ENGINEERING CK: .	

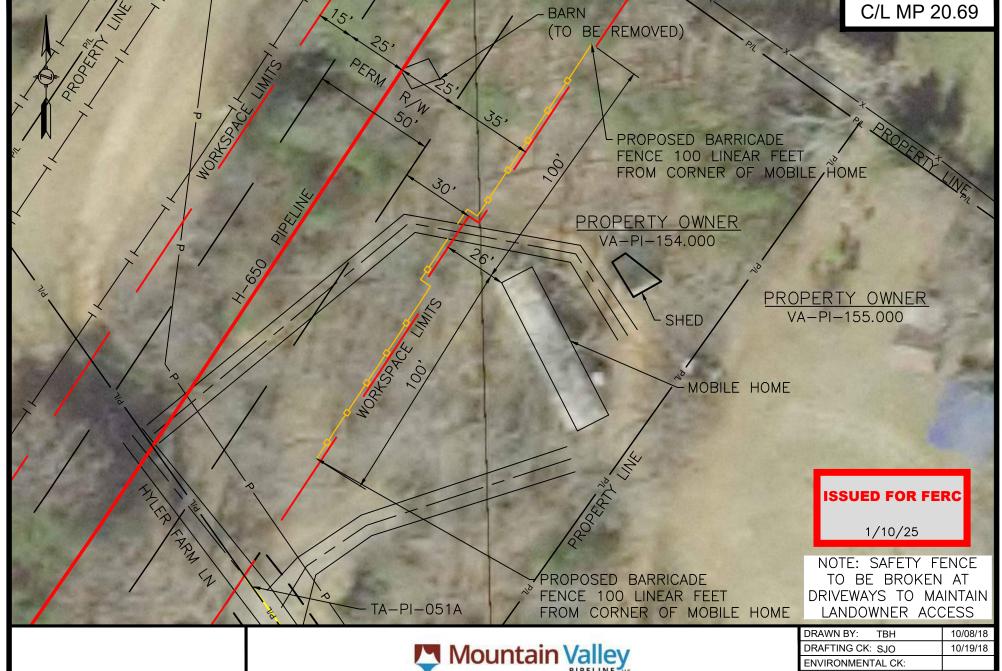
DETAIL SHEET:

DRAWING NO.:

RSS-H650-003

SCALE: 1" = 40' REV. P1

DATE OF PLOT: 1/8/2025 7:35 AM







MVP SOUTHGATE AMENDMENT PROJECT PROPOSED H-650 PIPELINE PITTSYLVANIA COUNTY, VIRGINIA SHEET 1 OF 1

ENVIRONMENTAL CK:	
ENGINEERING CK:	
DETAIL SHEET:	

DRAWING NO .:

RSS-H650-004

SCALE: 1" = 40'

DATE OF PLOT: 1/6/2025 8:27 AM







MVP SOUTHGATE AMENDMENT PROJECT
PROPOSED H-650 PIPELINE
PITTSYLVANIA COUNTY, VIRGINIA
SHEET 1 OF 1

DRAWN BY: TBH	10/09/18
DRAFTING CK: SJO	10/19/18
ENVIRONMENTAL CK:	
ENGINEERING CK:	

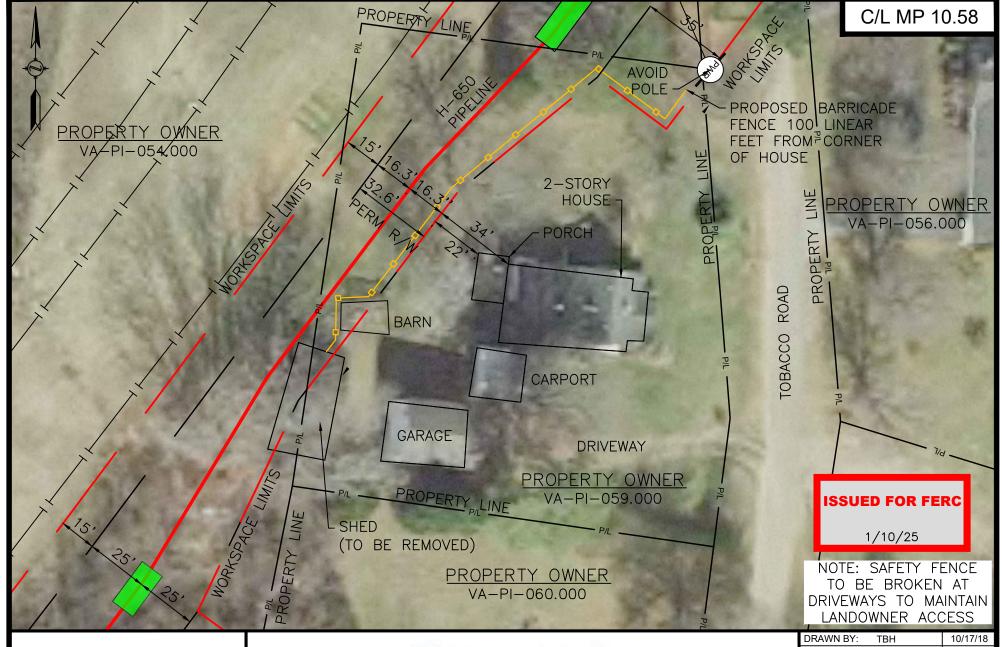
DETAIL SHEET:

DRAWING NO .:

RSS-H650-005

SCALE: 1" = 40' REV. P1

DATE OF PLOT: 1/10/2025 12:51 PM







MVP SOUTHGATE AMENDMENT PROJECT
PROPOSED H-650 PIPELINE
PITTSYLVANIA COUNTY, VIRGINIA
SHEET 1 OF 1

DRAWN BY: TBH	10/17/18
DRAFTING CK: SJO	10/22/18
ENVIRONMENTAL CK:	
ENGINEERING CK: .	

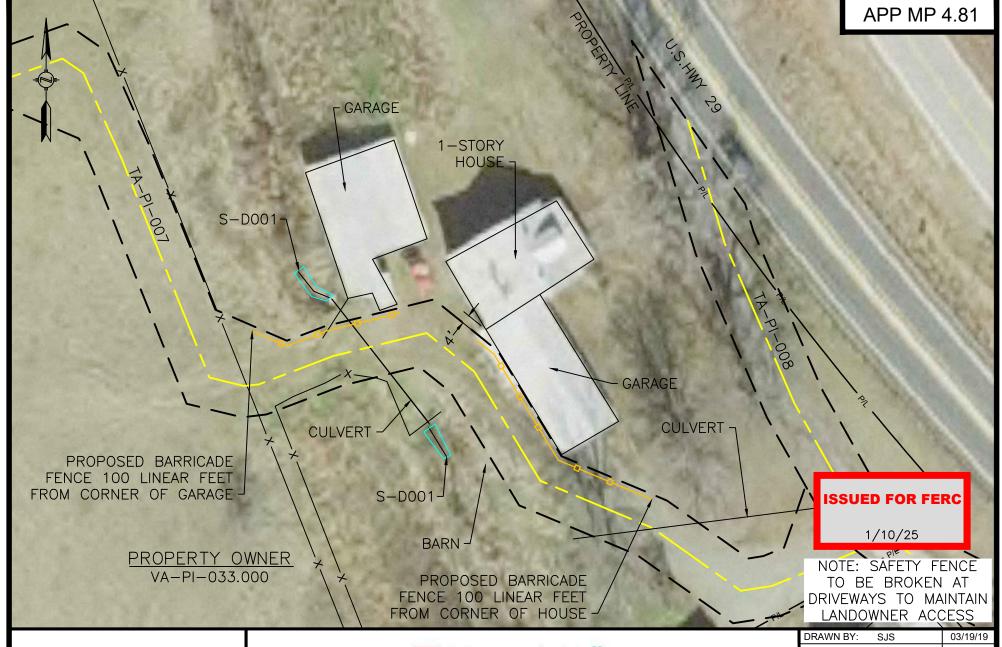
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DRAWING NO.:

RSS-H650-016

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DATE OF PLOT: 1/6/2025 9:10 AM







MVP SOUTHGATE AMENDMENT PROJECT
PROPOSED H-650 PIPELINE
PITTSYLVANIA COUNTY, VIRGINIA
SHEET 1 OF 1

DRAWN BY: SJS	03/19/19
DRAFTING CK: DEM	03/20/19
ENVIRONMENTAL CK:	
ENGINEERING CK: .	

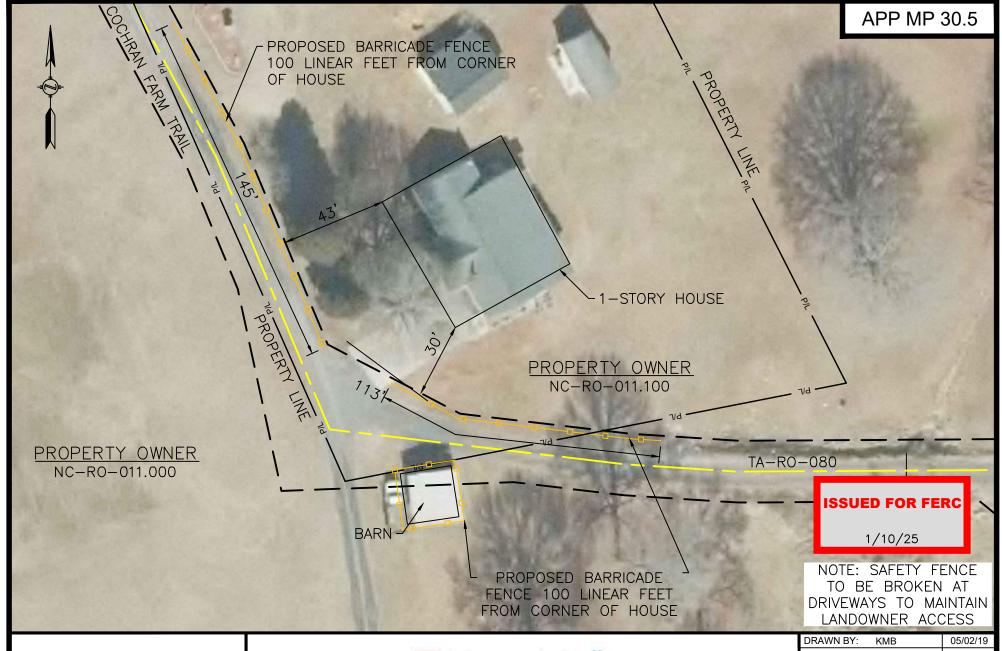
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RSS-H650-024

SCALE: 1" = 40' REV. P1

DATE OF PLOT: 1/6/2025 12:11 PM







MVP SOUTHGATE AMENDMENT PROJECT PROPOSED H-650 PIPELINE ROCKINGHAM COUNTY, NORTH CAROLINA SHEET 1 OF 1

DRAWN BY: KMB	05/02/19
DRAFTING CK: SSL	05/03/19
ENVIRONMENTAL CK:	
ENGINEERING CK:	

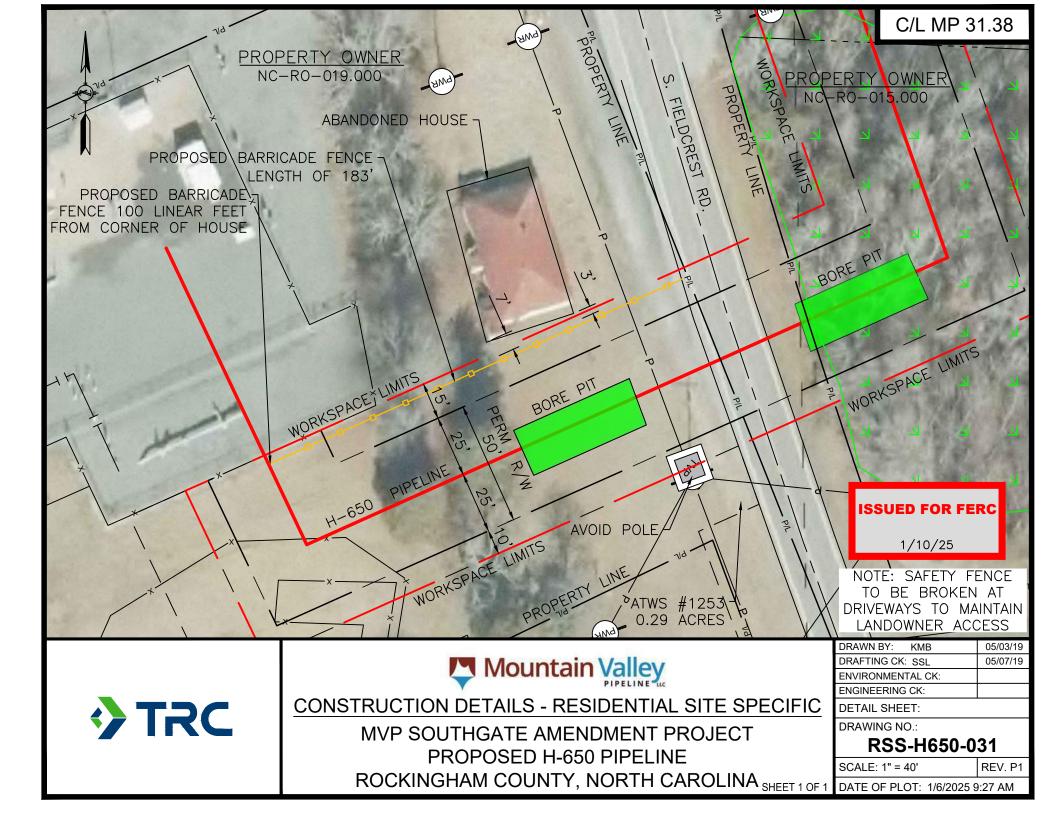
DETAIL SHEET:

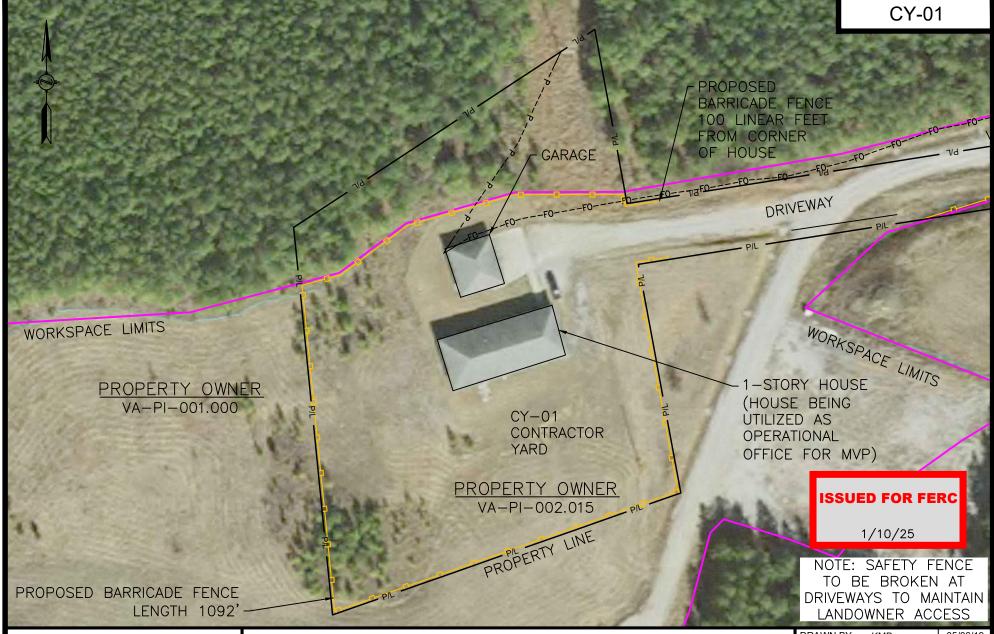
DRAWING NO.:

RSS-H650-030

SCALE: 1" = 40' REV. P1

DATE OF PLOT: 1/6/2025 9:15 AM









MVP SOUTHGATE AMENDMENT PROJECT PROPOSED H-650 PIPELINE PITTSYLVANIA COUNTY, VIRGINIA

DRAWN BY: KMB	05/06/19
DRAFTING CK: SSL	05/07/19
ENVIRONMENTAL CK:	
ENGINEERING CK:	

DETAIL SHEET:

DRAWING NO.:

SHEET 1 OF 1

RSS-H650-033

SCALE: 1" = 80' REV. P1

DATE OF PLOT: 1/6/2025 9:31 AM







CONSTRUCTION DETAILS - RESIDENTIAL SITE SPECIFIC

MVP SOUTHGATE AMENDMENT PROJECT PROPOSED H-650 PIPELINE PITTSYLVANIA COUNTY, VIRGINIA

DRAWN BY: CCH	06/13/19
DRAFTING CK: DEM	09/16/19
ENVIRONMENTAL CK:	
ENGINEERING CK:	

DETAIL SHEET:

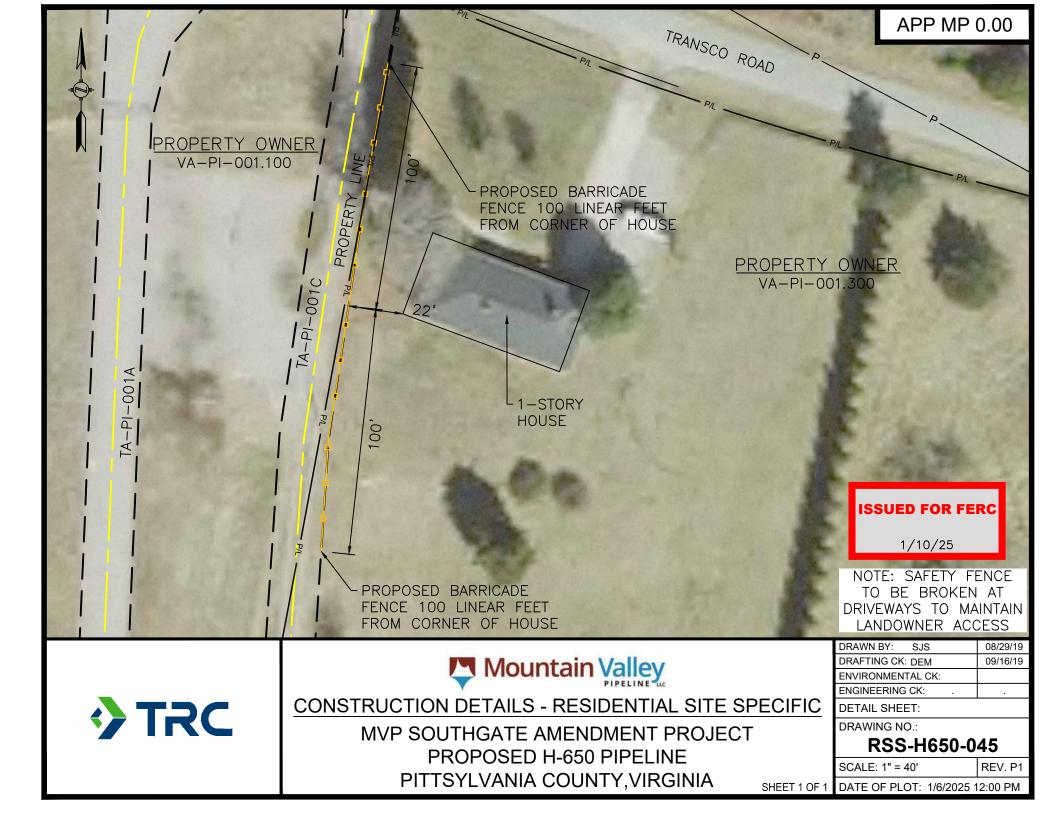
DRAWING NO.:

SHEET 1 OF 1

RSS-H650-041

SCALE: 1" = 40' REV. P1

DATE OF PLOT: 1/10/2025 12:54 PM









CONSTRUCTION DETAILS - RESIDENTIAL SITE SPECIFIC

MVP SOUTHGATE AMENDMENT PROJECT PROPOSED H-650 PIPELINE PITTSYLVANIA COUNTY, VIRGINIA

DRAWN BY: AWF	12/11/24
DRAFTING CK: MLT	12/11/24
ENVIRONMENTAL CK:	
ENGINEERING CK: .	

DETAIL SHEET:

SHEET 1 OF 1

DRAWING NO .:

RSS-H650-046

SCALE: 1" = 40' REV.P1

DATE OF PLOT: 1/6/2025 11:09 AM







CONSTRUCTION DETAILS - RESIDENTIAL SITE SPECIFIC

MVP SOUTHGATE AMENDMENT PROJECT PROPOSED H-650 PIPELINE ROCKINGHAM COUNTY, NORTH CAROLINA SHEET 1 OF 1

DRAWN BY: TRC	12/19/24
DRAFTING CK: HWK	12/19/24
ENVIRONMENTAL CK:	
ENGINEERING CK: .	

DETAIL SHEET:

DRAWING NO.:

RSS-H650-047

SCALE: 1" = 40' REV. P1

DATE OF PLOT: 1/6/2025 11:37 AM



## **MVP Southgate Amendment Project**

Docket No. CP25-XX-000

**Resource Report 8** 

**Appendix 8-E** 

Structures within 50 feet of the Amendment Project



					Table 8-E				
Structures within 50 feet of the Amendment Project									
Facility/ County, State	Approximate MP	Building Type (House, Shed, Garage, etc.)	Occupied (yes/no)	Direction from Pipeline Centerline	Distance from Edge of closest workspace limit (feet)	Distance from Pipeline Centerline (feet)	Residential Construction Plan Number <u>a</u> /	Mountain Valley Proposed Action <u>b</u> /	
H-650 Pipeline									
Pittsylvania, VA	0.00	House	yes	North	22	2,787	RSS-H650-045	Stay within access road PA-PI-001C limits. Proposed barricade fence 100 linear feet from house.	
Pittsylvania, VA	1.69	Shed	no	West	38	1,366	NA	Stay within access road TA-PI-004 limits.	
Pittsylvania, VA	1.98	Shed	no	West	23	1,088	NA	Stay within access road TA-PI-005 limits.	
Pittsylvania, VA	2.59	Shed	no	East	50	1,296	NA	Stay within access road TA-PI-005 limits.	
Pittsylvania, VA	2.62	Shed	no	East	7	1,729	NA	Stay within access road TA-PI-005 limits.	
Pittsylvania, VA	2.63	Shed	no	East	35	1,826	NA	Stay within access road TA-PI-005 limits.	
Pittsylvania, VA	2.64	Shed	no	East	0	1,835	NA	Protect	
Pittsylvania, VA	2.67	Shed	no	East	20	1,982	NA	Stay within access road TA-PI-004 limits.	
Pittsylvania, VA	2.68	Shed	no	East	0	2,028	NA	Protect	
Pittsylvania, VA	2.68	Shed	no	East	4	1,902	NA	Stay within access road TA-PI-005 limits.	
Pittsylvania, VA	4.81	Garage	no	East	0	693	RSS-H650-024	Use existing driveway (TA-PI-007) to pass by residences. Post both enter and exit caution/slow signage to alert contractors. Proposed barricade fence 100 linear feet from corner of house.	
Pittsylvania, VA	4.81	House	yes	East	4	753	RSS-H650-024	Protect	
Pittsylvania, VA	4.83	Barn	no	East	0	964	RSS-H650-024	Stay within access road TA-PI-007 limits.	
Pittsylvania, VA	4.83	Farm Stalls	no	East	10	904	NA	Stay within access road TA-PI-011 limits.	
Pittsylvania, VA	5.41	Unknown	no	East	15	2,662	NA	Stay within access road TA-PI-016 limits.	
Pittsylvania, VA	6.80	Business – office	yes	West	28	1,335	NA	Protect	
Pittsylvania, VA	8.34	Barn	no	East	16	76	NA	Stay within access road TA-PI-022 limits.	
Pittsylvania, VA	8.54	Shed	no	East	5	955	NA	Stay within access road TA-PI-022 limits.	
Pittsylvania, VA	8.54	Shed	no	East	6	959	NA	Stay within access road TA-PI-022 limits.	
Pittsylvania, VA	8.54	Shed	no	East	7	890	NA	Stay within access road TA-PI-022 limits.	
Pittsylvania, VA	8.55	Shed	no	East	0	922	NA	Use existing driveway (TA-PI-007) to pass by residences. Post both enter and exit caution/slow signage to alert contractors.	

Appendix 8-E-1 February 2025



	Table 8-E								
Structures within 50 feet of the Amendment Project									
Facility/ County, State	Approximate MP	Building Type (House, Shed, Garage, etc.)	Occupied (yes/no)	Direction from Pipeline Centerline	Distance from Edge of closest workspace limit (feet)	Distance from Pipeline Centerline (feet)	Residential Construction Plan Number <u>a</u> /	Mountain Valley Proposed Action <u>b</u> /	
								Proposed barricade fence 100 linear feet from corner of house.	
Pittsylvania, VA	8.55	Shed	no	East	15	974	NA	Stay within access road TA-PI-022 limits.	
Pittsylvania, VA	8.57	House	yes	East	46	874	NA	Stay within access road TA-PI-022 limits.	
Pittsylvania, VA	8.57	Mobile home	yes	East	18	980	NA	Stay within access road TA-PI-022 limits.	
Pittsylvania, VA	8.58	Shed	no	East	25	943	NA	Stay within access road TA-PI-022 limits.	
Pittsylvania, VA	8.59	Shed	no	East	47	924	NA	Stay within access road TA-PI-022 limits.	
Pittsylvania, VA	9.33	Barn	no	West	10	1,467	NA	Stay within access road TA-PI-023 limits.	
Pittsylvania, VA	9.34	Barn	no	West	13	1,524	NA	Stay within access road TA-PI-023 limits.	
Pittsylvania, VA	9.35	Barn	no	West	7	1,595	NA	Stay within access road TA-PI-023 limits.	
Pittsylvania, VA	9.36	Tobacco Shed	no	West	5	1,667	NA	Stay within access road TA-PI-023 limits.	
Pittsylvania, VA	9.38	Barn	no	West	42	1,641	NA	Stay within access road TA-PI-023 limits.	
Pittsylvania, VA	10.58	House – 2 story	yes	East	34	80	RSS-H650-016	Protect with proposed barricade fence.	
Pittsylvania, VA	10.59	Barn	no	East	0	6	NA	Protect	
Pittsylvania, VA	10.59	Porch	yes	East	22	45	RSS-H650-016	Protect with proposed barricade fence.	
Pittsylvania, VA	10.59	Shed	no	East	44	61	NA	Protect	
Pittsylvania, VA	10.6	Shed	no	East	0	11	RSS-H650-016	To be removed	
Pittsylvania, VA	10.6	Garage	no	East	29	64	RSS-H650-016	Protect	
Pittsylvania, VA	10.96	Shed	no	East	49	122	NA	Protect	
Pittsylvania, VA	11.05	House – 2 story	yes	East	28	113	NA	Protect	
Pittsylvania, VA	13.37	Shed	no	East	11	234	NA	Stay within access road TA-PI-032 limits.	
Pittsylvania, VA	15.18	Barn	no	East	8	1,863	NA	Stay within access road TA-PI-035 limits.	
Pittsylvania, VA	15.19	Shed	no	East	24	1,749	NA	Stay within access road TA-PI-035 limits.	
Pittsylvania, VA	15.3	House	yes	East	46	180	NA	Protect	
Pittsylvania, VA	16.33	Garage	no	East	5	65	NA	Protect	
Pittsylvania, VA	16.37	Shed	no	East	0	172	NA	Protect	
Pittsylvania, VA	16.67	Mobile home – single wide	yes	East	28	120	NA	Protect	

Appendix 8-E-2 February 2025



					Table 8-E			
				Structures within	n 50 feet of the Amendme	nt Project		
Facility/ County, State	Approximate MP	Building Type (House, Shed, Garage, etc.)	Occupied (yes/no)	Direction from Pipeline Centerline	Distance from Edge of closest workspace limit (feet)	Distance from Pipeline Centerline (feet)	Residential Construction Plan Number <u>a</u> /	Mountain Valley Proposed Action b/
Pittsylvania, VA	17.47	House	yes	East	31	1,943	NA	Stay within access road TA-PI-043 limits.
Pittsylvania, VA	17.49	Barn	no	East	0	1,847	NA	Protect
Pittsylvania, VA	17.50	Barn	no	East	45	1,861	NA	Stay within access road TA-PI-043 limits.
Pittsylvania, VA	18.85	Tobacco Shed	no	West	5	46	NA	Protect
Pittsylvania, VA	18.89	Tobacco Shed	no	West	10	75	NA	Protect
Pittsylvania, VA	19.53	Garage	no	East	46	126	NA	Protect
Pittsylvania, VA	20.06	Shed	no	West	34	103	NA	Protect
Pittsylvania, VA	20.43	Business – auto sales	no	West	35	340	NA	Stay within access road TA-PI-050 limits.
Pittsylvania, VA	20.61	Barn	no	East	0	1	NA	To be removed
Pittsylvania, VA	20.63	Garage	no	East	18	59	NA	Protect
Pittsylvania, VA	20.69	Mobile home	yes	East	26	108	RSS-H650-004	Install safety fence at limit of workspace extending 100 feet from house.
Pittsylvania, VA	20.72	Car awning	no	East	5	52	RSS-H650-005	Protect with proposed barricade fence.
Pittsylvania, VA	20.73	Mobile home	yes	East	26	89	RSS-H650-005	The workspace has been adjusted in this location. Protect with proposed barricade fence.
Pittsylvania, VA	22.68	House – 1 story, fallen down <u>c</u> /	no	East	0	86	RSS-H650-041	Protect if possible or remove.
Contractor Yards								
Pittsylvania, VA	CY-01	Garage	no	North	0	1,614	RSS-H650-033	Install safety fence around the house at a 1-foot offset from the property line.
Pittsylvania, VA	CY-01	House	no	North	0	1,556	RSS-H650-033	Install safety fence around the house at a 1-foot offset from the property line.
H-650 Pipeline								
Rockingham, NC	29.76	Shed	no	West	14	1,108	NA	Stay within access road TA-RO-078 limits.
Rockingham, NC	29.79	Shed	no	West	17	980	NA	Stay within access road TA-RO-078 limits.
Rockingham, NC	29.81	Shed	no	West	40	809	NA	Stay within access road TA-RO-078 limits.
Rockingham, NC	29.85	Shed	no	West	23	1,213	NA	Protect
Rockingham, NC	29.85	Shed	no	West	26	1,347	NA	Protect

Appendix 8-E-3 February 2025



	Table 8-E									
Structures within 50 feet of the Amendment Project										
Facility/ County, State	Approximate MP	Building Type (House, Shed, Garage, etc.)	Occupied (yes/no)	Direction from Pipeline Centerline	Distance from Edge of closest workspace limit (feet)	Distance from Pipeline Centerline (feet)	Residential Construction Plan Number <u>a</u> /	Mountain Valley Proposed Action <u>b</u> /		
Rockingham, NC	29.85	Shed	no	West	37	1,302	NA	Protect		
Rockingham, NC	30.3	Shed	no	West	30	419	NA	Protect		
Rockingham, NC	30.3	Mobile home	yes	West	43	355	NA	Stay within access road TA-RO-079A limits.		
Rockingham, NC	30.5	House	yes	West	30	1,459	RSS-H650-030	Stay within access road TA-RO-080 limits.		
Rockingham, NC	30.52	Barn	no	West	0	1,411	RSS-H650-030	Protect		
Rockingham, NC	31.38	House – abandoned c/	no	North	3	81	RSS-H650-031	Protect		
Rockingham, NC	31.4	House	yes	South	29	142	NA	Protect		
Contractor Yards										
Rockingham, NC	CY-05	Business – Warehouse	no	West	0	14,865	NA	NA		
Rockingham, NC	CY-05	House	yes	West	0	15,649	RSS-H650-003	Install safety fence around the house at a 1- foot offset from the property line and a 15- foot offset from the house.		
Rockingham, NC	CY-05	Garage bays	no	West	0	15,373	NA	NA		

a/ See Appendix 8-C. NA = Not Applicable.
b/ The selected action will be determined during negotiations with landowners. Action could include reduced construction right-of-way width, installation of safety fence, temporary or permanent movement of the structure, demolition, or no action.

c/ Mountain Valley has confirmed that these structures are abandoned and, therefore, not inhabited.



## **MVP Southgate Amendment Project**

Docket No. CP25-XX-000

**Resource Report 8** 

**Appendix 8-F** 

Landowner Agreements for Residences within 10 feet of the Amendment Project

(CUI//PRIV, Privileged and Confidential, Provided Under Separate Cover)



## **MVP Southgate Amendment Project**

Docket No. CP25-XX-000

**Resource Report 8** 

**Appendix 8-G** 

Federal and State Recreational and Special Interest Areas Map



